



Moruya Showground Design Guidelines

December 2018

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Moruya Showground Design Guidelines

Background

The following guidelines have been prepared to provide guidance to designers and council staff responsible for maintaining and adapting existing structures and designing new ones for the showground site.

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It has been prepared to meet Action H1 of the Moruya Showground Landscape Masterplan 2018 and gives guidance to the actions as referenced in that document's Action Plan.

This report reviews the heritage significance of particular buildings and clarifies actions that will enhance their respective heritage value. In line with the brief it provides:

- a. guidelines and suggestions for style, materials, colour schemes and design principles for proposed new and renovated structures, and
- b. basic landscape design considerations that would be sympathetic to the site.

Introduction

The 2018 Masterplan vision for the showground is *to create a contemporary event, exhibition and activity space that respects agricultural and heritage characteristics.*

The Moruya Showground CMP by John Armes and Associates (May 2005) summarises the heritage significance of the buildings as follows:

Grandstand	High significance. Armes states that the grandstand is already listed on the NSW State Heritage Register. This is not the case - however it is listed on ESC local heritage schedule as a component of the Moruya Showground Complex.
Exhibits pavilion	High
Poultry pavilion	Moderate
Storage shed	Moderate
Caretaker's cottage	Moderate
Ticket Box	Moderate
Basketball stadium	Little

The Armes study also provides additional discussion on lesser structures not noted above as well as on the overall composition and layout of the group of buildings. Comments from user-groups were also included as was a history of the site.

Colour

It is recommended that the universal application of cream and green to every structure on the showground be abandoned. The scheme is over-used and not appropriate to every building. Colours should be chosen to emphasise the individual character of the building. For example, a new building should have a new colour scheme.

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Suggested colour schemes for existing and proposed buildings are provided as part of this report. Modifications to these suggestions may be considered as appropriate after consultation and as part of the more detailed scope of work for the individual building.

Some examples from other locations are provided to illustrate why the suggested schemes are considered appropriate.

The Grandstand (refer Action M1)



Moruya Showground Grandstand 2018

The structure was built on the current site in 1904 – 05 to view the racecourse that was there at that time (presumably in the approximate location of the main ring and football oval). The Agricultural and Pastoral Show was still being held at its former location by the river.

At some stage (probably between the 1960s and 1980s) toilets were added to the rear of the grandstand and the sides and front filled in using cement block construction. More recently a concrete path was installed across the front of the grandstand, eliminating a small planted area as a result.



Photo by EJE Consultants 1997. Note the lack of a rear wall, plus white and 'mission brown' colour scheme.



Photo by John Armes and Associates 2004 showing planted area at front and at ends of grandstand. Colour scheme has been altered to 'off white' and green, with the front upper framing in contrasting colours. Historic photos of the grandstand have yet to come to light.

Condition

Structurally the grandstand appears stable however the frame and posts beneath the seating were not inspected as part of this report. It is possible the seating is still supported on timber stumps. Two of the vertical struts in the front upper frame are missing and there is some subsidence in the horizontal member. There may have been more detail in this upper section, and it would not be inappropriate to add additional screening to provide more shade.

Solid panels have been added to the upper side walls to prevent unlawful access to the toilet roof, and some of the historic v-jointed boards have been removed. The rear wall is now painted corrugated iron, although in 1997 the photo shows it as open mesh.

The seating area is in poor condition and uninviting. The surface is steel sheet that is now rusting, although the Armes study noted it as 'compressed sheet and steel handrails'. There is no differentiation between seating and walking surfaces and no central or side aisle. It has been commented that the grandstand does not provide good protection from the sun, especially in the afternoon.

Constraints

- The grandstand is reported to be subject to high levels of vandalism.
- It can't be locked to deny access,
- In the past it has enabled unapproved access to the toilet building roof,
- It is not central to the rodeo ring.
- Some additions are less than sympathetic – (screening at upper sides, mesh infill to sides, concrete block to front and sides, seating surfaces).

Heritage significance

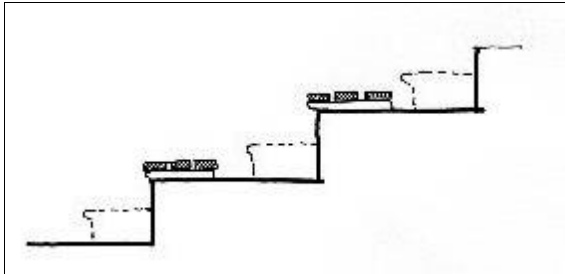
It is the oldest building on the site and to a large extent is an iconic landmark at the showground. It has a high level of local significance historically and socially.

Recommendations

The following recommendations are made for the renovation of the grandstand.

1. Obtain historic photographs.
2. Obtain structural assessment, especially beneath the seating area.
3. Upgrade tiered seating allowing for separation between walking and sitting surfaces.

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Cooma grandstand

4. Introduce a central aisle with additional steps. Add slatted timber seats, allowing for foot traffic behind. A hardwood timber such as ironbark is recommended for durability and reduced fire risk.
5. Design and construct so that the whole tiered seating area can be pressure washed from time to time.
6. Improve sun-shading through the addition of vertical slatted boards across the upper front and sides.
7. Upgrade mesh in the side rails to vertical alignment and powder coated to black. Side and front balustrades need to be BCA compliant. A more attractive alternative would be to replace the mesh with vertical slats of timber or powder coated steel, although mesh presumably allows better visibility of events. A common balustrade treatment for many grandstands from the turn of the 19th century is to infill railings with diagonal timbers. These can be backed with fine mesh to meet BCA where necessary and are relatively transparent.



A building in Braidwood with mesh behind diagonal timbers.

8. There is no gutter on this structure. If it is to remain without a gutter then roofing iron should be extended approximately 200 – 300 mm beyond the fascia to shed rain water. Alternatively, install gutter, gutter guards and downpipes.
9. The round steel handrails are inconsistent with this building's historic character. They should be replaced with traditional timber posts and handrails.
10. A feature tree should be planted at either end of the grandstand. The tree should be of low maintenance, easily mown around, not obstruct vision and of a suitable scale and foliage to enhance the structure. An appropriate species of palm tree address these criteria and were a popular choice to enhance buildings around 1900, when the grandstand was erected. A

grove of palms can be seen in the adjacent golf course. Palms are also suitable as advanced specimens.



Palm tree in Moruya golf course



Indicative conservation option showing additional sun-screening and palm trees.

11. Paint the grandstand in accordance with the following guidelines.

Grandstand design and colours

It's not known if there is any historical basis for cream and green having been used on the grandstand, however that colour scheme is now tired and has been overused at the showground.



Suggested grandstand colour scheme

An alternative colour scheme such as the one in the adjacent image may be used for the grandstand and possibly the pavilion.

Sample colours to try include Dulux “Blue Accolade” for trim with Dulux ‘Lime White’ for the body. Blue Accolade is not quite as dark as Deep Ocean. See also ‘Boatshed’ on the Dulux *Selections* colour chart.

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Polo Flat grandstand – Cooma Race track

By way of comparison, features of the grandstand at Cooma racetrack (Polo Flat) include

- Good historic integrity,
- Well maintained fabric,
- Simple but attractive colour scheme of three colours – off white, pale tan and Indian red.
- Strong use of diagonal bracing that is also reflected in the diagonal balustrades.
- Seating extending forward of the roofline
- Sky light visible between rear wall and roof,
- Bench type seating along back wall
- Separation between stepped access aisles seating surfaces,
- Very high quality of under-seating infill using traditional weatherboards, vertically panelled timber doors and multi-pane sash windows. See lower photo



Polo flat – door and window to underside of grandstand



Cooma showground grandstand

The Cooma Showground grandstand has a number of similarities with that at Polo Flat. However it is a larger grandstand with slightly richer detailing. This grandstand uses garden beds to the side to help define spaces and pathways. Note that diagonal balustrading is also used above the garden bed. This extends the attention to detail into the landscape.



Cooma showground grandstand with a slightly different colour scheme after repainting.



Bombala grandstand – the gable reflects that used on the animal pavilion.

The Bombala Showground grandstand is a relatively new (or extensively restored) small scaled structure.

The addition of gable in the roof and the vertical timbers in the diagonal bracing add visual strength to its design and reflect key elements in the exhibition hall and the nearby animal pavilion (see below).

Note the use of timber for seating and side wall enclosure.

Roof and gables are clad in galvanised iron, not colourbond or zincalume.



Bombala grandstand side view



Bombala Showground animal pavilion with prominent gable and visually strong diagonals

Grandstand Amenities Block (refer Action M12)

Condition

The toilet and shower facilities have passed their use-by date and are considered to be an unsympathetic addition to the grandstand in terms of their scale and use of cement block construction.

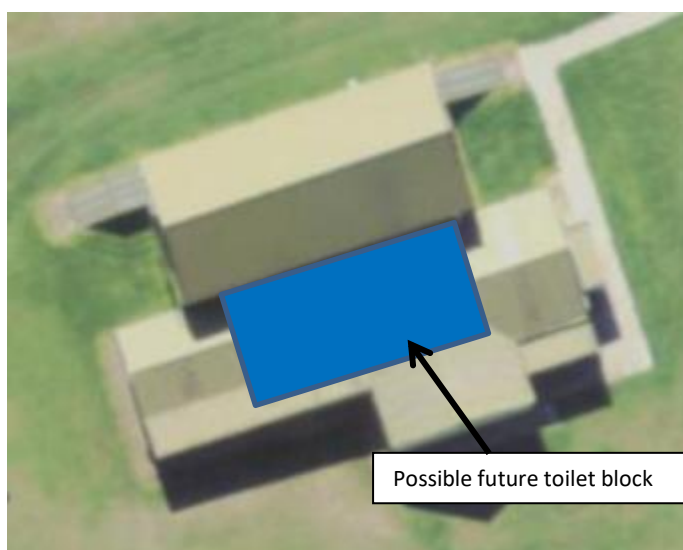
Heritage significance and constraints

From a heritage perspective the toilets should be deleted altogether, with the function being provided by the additional facilities proposed elsewhere on the site. If there is no feasible alternative to relocation then the toilets should be constructed on the southern side of the stand, be no wider than the grandstand and have a lesser footprint.

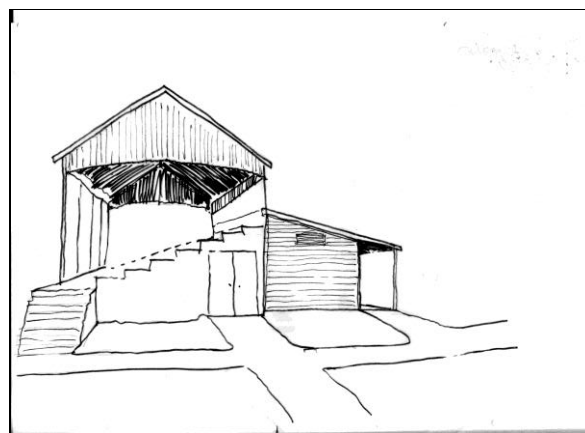
Recommendations

The following recommendations are made for the design and construction of the new amenities block.

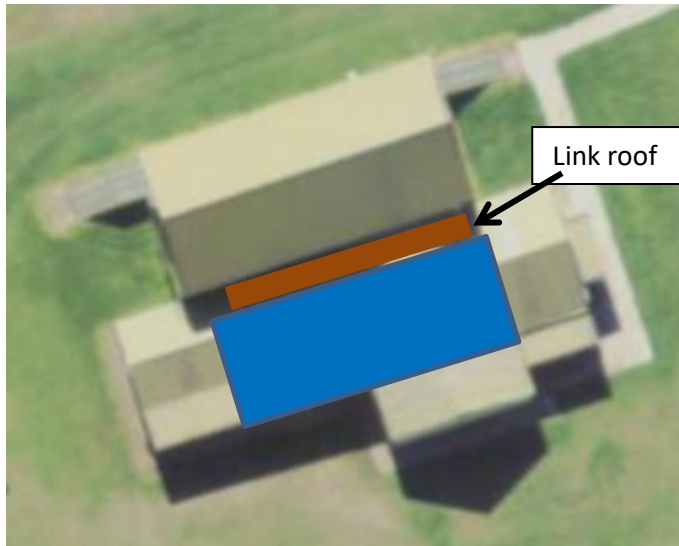
12. The amenities block should be at the rear of the grandstand, and have less of an east-west dimension so that the original proportions of the grandstand remain clearly evident.
13. Current heritage philosophy suggests that new structures adjacent historic buildings be in a style of their time. The building could be conceived either as a simple skillion attached to the main building, or as a more modern skillion attached to the grandstand by a lower-roofed link. Another option is to link the toilet block roof to the grandstand with a narrower and lower flat roof. This enables the toilet block to have a reverse skillion and more modern styling. Of the two options, the use of a linked, modern but sympathetic skillion is preferred.



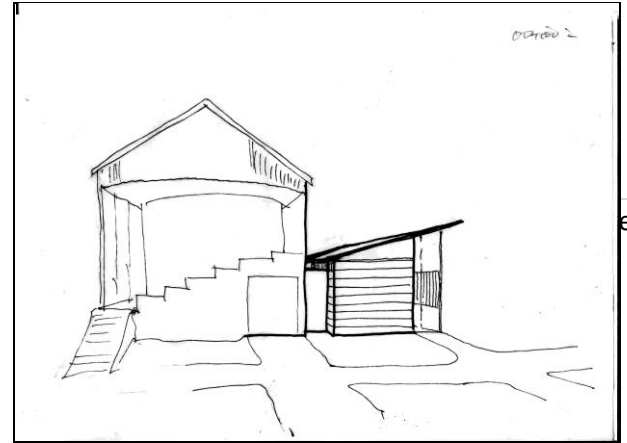
The new toilet block should ensure that the original proportions of the grandstand remain clearly evident.



Traditional 'lean-to' addition



An option is to link the toilet block roof to the grandstand with a narrower and lower flat roof.



Separating the building with a small link enables the use of a more modern, but still sympathetic design for the toilet block. The enclosed link provides opportunity for servicing access, cleaners storage etc.



Example of a design that could be linked to the grandstand.

The Exhibits Pavilion and adjoining buildings (refer Action M2)

Condition and heritage significance

Originally constructed 1881 on the Moruya Agricultural and Pastoral Society grounds at the south side of the Moruya River. Relocated in 1914 to its current position it is believed that a substantial amount of new timber went into the building as part of its reconstruction.

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The key heritage characteristic of the group is the decorated entry porch at the northern side of the historic pavilion.

By 2004 the building had an additional pavilion attached to the rear with a matching pitched roof and valley gutter, plus a shallow roofed skillion on the eastern side.



Exhibits Pavilion 2004

In about 2007 the shallow skillion roofed section was replaced with the current gable-roofed structure with skillion verandah on the north and east sides.



Extension on the eastern side of the Exhibits Pavilion

Also around 2011, a third gable roofed structure (arrowed below) was added between the front two pavilions and the Poultry Pavilion to provide toilet and change room facilities for the adjacent sports field.



Toilet and change room addition behind the Exhibits and Poultry Pavilions

The buildings have consistent roof pitch, gable treatment and external weatherboard cladding and create an interesting 'streetscape' of building elevations on their western side that extends to, and includes, the poultry pavilion. The ubiquitous cream and green colour scheme has been applied to all the buildings.

The potential character of the repeated forms is not fully developed.



The western face of the Exhibits and Poultry Pavilions

Recommendations

The recommended strategy for the renovation of this group of buildings is to make minor alterations to upgrade their performance and appearance and develop a new colour scheme to highlight their character. An example of this can be seen elsewhere in Eurobodalla, as per the below images.



Repeated forms with varied colour schemes evident at the Narooma boatsheds.



Repeated forms with varied colour schemes at Tilba.

14. The decorated entry porch at the northern side of the historic pavilion should be repainted to subtly enhance its detailing. One option is as follows:

- *Dulux Lime White* - walls and gable to match the Grandstand
- *Dulux Blue Accolade* - a darker blue /grey for posts, top of handrail and barge capping, door frame
- *Dulux Bay's Water quarter* - a soft pastel blue for decorative barge board, porch valance, intermediate handrails, vertical panelled door



The decorated entry porch is a key heritage feature of the Exhibits Pavilion

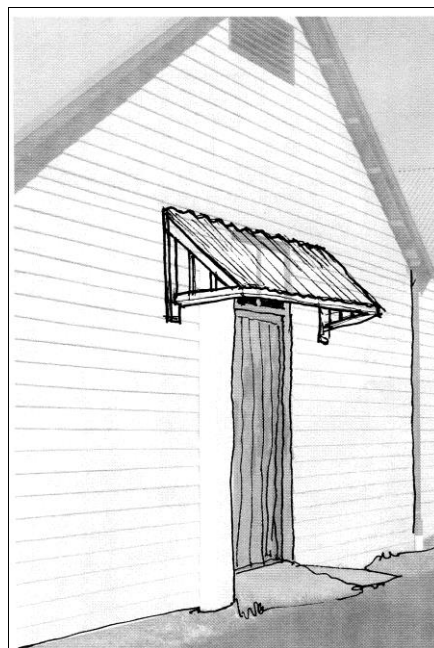
15. The colour scheme selected for Recommendation 14 should then be more or less reversed for each of the four gabled structures, as follows:

- *Dulux Lime White* walls, *Blue Accolade* trim - Front pavilion
- *Dulux Blue Accolade* walls and *Lime White* trim - Second pavilion and skillion
- *Dulux Lime White* walls, *Blue Accolade* trim – Sports amenities section
- *Dulux White Box* (pale pastel green) walls with *Natural White* trim – Poultry Pavilion



West elevation - composite image

16. To provide weather and sun protection, and to enhance the historic character of the west elevation it is recommended that simple corrugated iron awnings be installed over each central doorway as per the below image.



Suggested awning for western doorways

17. To improve ventilation in the Poultry Pavilion it is recommended that a ventilated clerestory be added into the roof as indicated below. An awning should be added over the western doorway to provide additional sun and rain protection. This could also be extended the full width of the gable if desired.



Recommended clerestory addition to the Poultry Pavilion

The Storage Shed (refer Action H3)

Condition and heritage significance

This small building is sometimes referred to as the 'original secretary's office' from the old showground site. Armes notes *that it was possibly one of the original buildings built from 1881, and relocated in 1914*. He assesses its heritage significance as '*Moderate*' and recommends that it is *conserved for continued storage, or possibly new small scale compatible use*.

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The building was subsequently relocated from its former location next to the poultry pavilion in about 2011. It is a simple structure and although its condition is poor, it would be a relatively easy building to restore or up-date for a compatible new use.

The most important thing for this structure is that it is given a worthwhile new use that justifies its retention and restoration. The proposed use as a museum or as an adjunct facility for the secretary's office (such as storage or additional office space) seems appropriate.

Recommendations

18. Sympathetic adaptation of the windows and doors of the original secretary's office would be appropriate and detailing should generally follow the existing.
19. Location, orientation, window and door arrangements plus colour scheme will all depend on the building's final location. It is recommended the building be co-located with the proposed secretary's office and linked with paving, decking or a covered walkway.



Former storage building/original secretary's office. Photo 2018

Caretaker's Cottage (refer Action M3)

Condition

The cottage is effectively a square building with weatherboard walls and a pyramidal roof, built in the 1950s and presumed to have been built on-site rather than relocated from elsewhere. It is a simple but attractive structure in generally good condition.

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As per the Masterplan, the building is to be upgraded to include an accessible toilet, and an open space suitable for showground displays and community hire. In view of its community function, and its historical orientation, the building should retain an address to Albert Street, while continuing to serve on-site functions. Thus the side facing the showground should not read as “back of house”.



Caretaker's cottage, Albert St elevation, 2018



East elevation



North west elevation

Constraints

Relocation and re-alignment of buildings

The 2018 Masterplan proposes that the storage shed, the caretaker's cottage and the yet to be built Secretary's Office all be co-located adjacent to Albert Street but aligned to be parallel to the Grandstand and Exhibition buildings, rather than the road. This proposed re-alignment is not a heritage condition and in fact would be problematic for the caretaker's cottage as it would require demolition of the brick chimney, demolition and reconstruction of footings, severing and redoing all services and reconstruction of the front verandah.

The guiding document for management of heritage places generally recommends against relocating structures unless there is no feasible alternative. Re-aligning this structure would add considerably to the cost of adaptation. Re-aligning could also create a sense of 'disconnect', given that the basketball stadium and the proposed shared maintenance facility will remain aligned to Albert Street.

Recommendation

20. It is recommended that the caretaker's cottage not be realigned and that the final arrangement of these structures be resolved as part of the detailed architectural design and layout of the group H2, H3, and M3.
21. The caretaker's cottage could be extended through the addition of shallow pitched skillions or linked pavilions with a roof pitch similar to existing. A small addition could be done as an attached skillion, but a large addition should have a pyramidal roof with a small connecting link. Additions would best be located on the east west or north sides depending on internal design layout.



Caretaker's cottage with linked addition.

22. Recommend colour scheme is walls Dulux *Warm Neutral* with *Natural White* trim.

New Secretary's Office (refer Action H2)

Constraints and heritage significance

The proposed new secretary's office will be located in close proximity to two buildings of 'moderate' heritage value and within the showground precinct that seeks to reinforce its historic character. So called 'slavish reproduction' is not mandatory. The existing heritage character could be summarised as:

- Modest scale,
- Roof pitch between 25 and 35 degrees (more commonly 35 degrees)
- Predominant use of gable roof form (M3 has a pyramidal roof)
- Corrugated metal roof
- Weatherboard walls
- Timber windows and doors.
- Doors centrally located
- Symmetry in planning.

Opportunity

The existing caretaker's cottage could easily be adapted and extended to fulfil the role of the secretary's office and provide meeting rooms, storage, office, toilets and a suitable space for show days. This would be an economical solution that provides a good use for the existing caretaker's cottage and would leave space between it and the basketball stadium for future development. To accommodate the new use the building could be extended as shown at Recommendation 21 above. Additional linked structures, eg for accessible toilets, could also be added.

Recommendation

23. It is recommended that the caretaker's cottage be modified and extended to accommodate the secretary's office function, with links as necessary to fully accessibly toilets and the historic storage shed (new museum).
24. If a new building is to be constructed then the general guidelines are for a building that is of its time (2020?) but respects and is sympathetic to its heritage context.

New caretaker's residence and storage facility (refer Action M4)

Constraints

There is no need or intention for this facility to be a heritage replica.

Opportunities

There is the opportunity to integrate the caretaker's residence and the storage facility with the residence located above part or all of the storage area. An elevated residence would enable the caretaker to have good surveillance over much of the site. Co-location with the storage facility would also provide good security for the stored equipment.

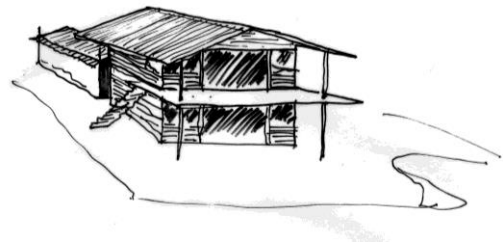
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Recommendations

The images below illustrate examples that align with the recommendations for this building.

25. The building will have a light-weight coastal feel and may read as an elevated dwelling with infill panelling below to create the storage area. The structural system will be expressed where appropriate.
26. Cladding materials will include exposed or painted timber, fibre cement sheet with or without battens, corrugated steel and possibly some rendered masonry below.
27. The roof will be moderately pitched corrugated steel with generous overhangs at sides and ends. The roof form may be composed in different sections to express different functions within the building – which could help to break up scale and provide interest.
28. Detailing should be modern, simple and elegant. The architecture should respond to different height requirements in the storage area. A building that expresses the storage and residential functions separately might also be possible.





Bar and amenities building (refer Action M14)

Condition and heritage significance

The current bar has no heritage value and should be demolished. It comprises a cement block wall on the eastern side with bar and covered serving area on the west. The bar is used for bin storage between events.

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Eastern elevation



West elevation

Bar design

Investigation of similar structures provides guidance on options for the new facility at Moruya Showground.

Cooma

The Cooma showground bar is a rectangular structure with cement block storage at the rear and a fully enclosed counter with security screens to openings. The pyramidal roof extends beyond all walls to provide a limited covered area for patrons when buying drinks although there is not sufficient space for large crowds to both purchase and consume drinks at the same bar.

The facility is set within a hard landscaped area that includes two medium sized deciduous trees on the north side and tables with seats under trees in a fenced area on the south west. These tables are a short distance from the bar which minimises crowding and congestion.

The bar roof reflects the form of the roof over the nearby animal pavilion and because of this fits harmoniously into its context. The space is enclosed by a metal fence with diagonal infill struts that visually link to the grandstand. Toilets are located nearby under the grandstand and in the large multipurpose centre. Toilets are not included within the bar itself.



Cooma Showground bar with two trees on north side



Durable tables and seats under trees on the south west side a short distance from the bar.
The fence defines the space and links visually to the grandstand

Polo Flat

Polo flat has a more pragmatic and less appealing bar complete with queuing rails and fire hydrant built on the back of the its grandstand. The toilets are in a nearby freestanding structure clad with colorbond metal weatherboards.



Polo flat bar



New toilets at Polo Flat

Moruya Showground bar

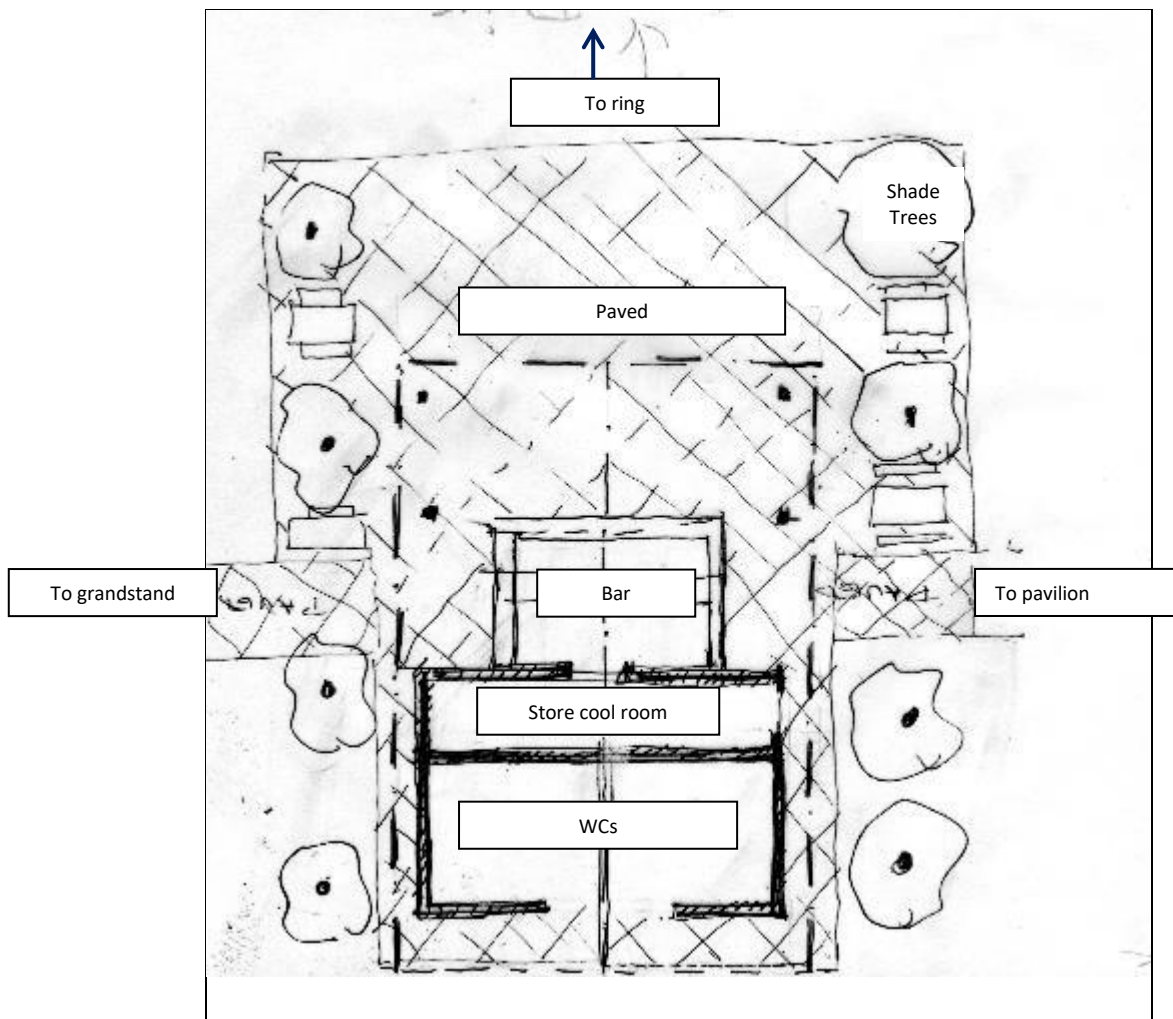
The current proposal is to include toilets in both the grandstand and the bar. However there are already toilets in the building facing the football oval and toilets in the Stadium and there will also be toilets associated with the Secretary's office. As toilets are expensive to install and maintain a realistic assessment of the number of pans and urinals should be made. If enough units can be installed in the facility proposed at the back of the grandstand than they could be deleted from the bar.

Recommendations

29. The new bar should be a simple structure that focusses its attention towards the ring.
30. The roof will be pitched, with a deep open gable facing towards the ring. The pitch doesn't need to be as steep as that on the pavilion but should nevertheless be generous. The sides of the bar building are important as the east side faces towards the historic pavilion and will contribute to the sense of the street rising up to the Poultry Pavilion and the stadium. It could have a smaller gable facing the pavilion. The west side will face towards the grandstand and to an area that sometimes includes temporary structures.
31. The inside of the building should include space for kegs, bottles, general equipment storage, taps and sinks. A secure storage area should be established at the back of the bar that has the ability to include a cool room.
32. External to the bar will be a covered area for patrons when being served, and nearby by will be some seats and tables. Shade trees will be strategically located. The drinking area will be attractively landscaped and will include a mix of hard and soft landscaping, possibly loosely defined by a fence or low hedge.
33. Between events the bar will be able to be securely locked down and used for storage of any unsecured outdoor furniture.
34. The core structure (bar, store, cool room and wc's) should be constructed in manganese coloured brickwork or glazed tile cladding with trim in oiled timber such as Merbau.
35. Install rubbish bin cages around the showground site so that the bar building is not used for this purpose.



A roof form such as this might be appropriate for the bar.



Conceptual layout for bar with WC's behind. North to top of page



Use of quality face brickwork would be appropriate for the walls of the bar and would fit well with the showground's heritage theme.

Official's Tower (refer Action M11)

Official's Tower design

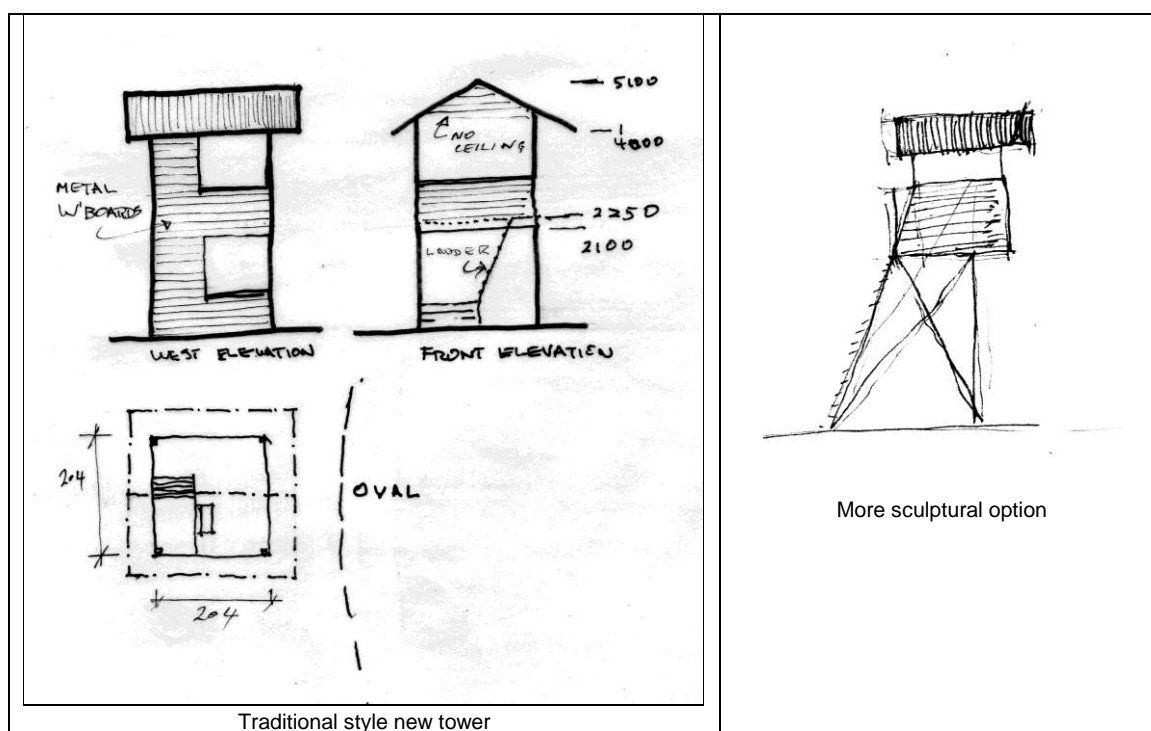
The camera tower is considered to be a fairly minimal structure. One option is an open steel frame with mesh panelling up to 1 m above floor level and a simple open-gabled corrugated iron roof. When not in use the structure could be climbed by active children and it is not known if this poses an OH and S issue. A more substantial structure would be clad with either corrugated iron or mock weatherboards (as per Polo Flat toilets). This more substantial version would include shutters to make it lockable and could then include some basic furniture and permanent power. Access to the first floor would be by a suitably designed internal ladder or steps.

Recommendations

36. This building should be a minimal structure of open steel frame or clad in corrugated iron or mock weatherboards.



Current camera tower viewed from west



Shared Maintenance Facility (refer Action M5)

Facility design

Investigation of similar facilities supports that there are several options for this building.

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Storage and facility shed at Gundaroo Showground clad with galvanised iron.
This structure has good sympathetic historic character



A modern colorbond shed – not too offensive but no heritage character.



The Bega Men's shed is modern, but fits into its historic context by careful choice of colour and cladding material.



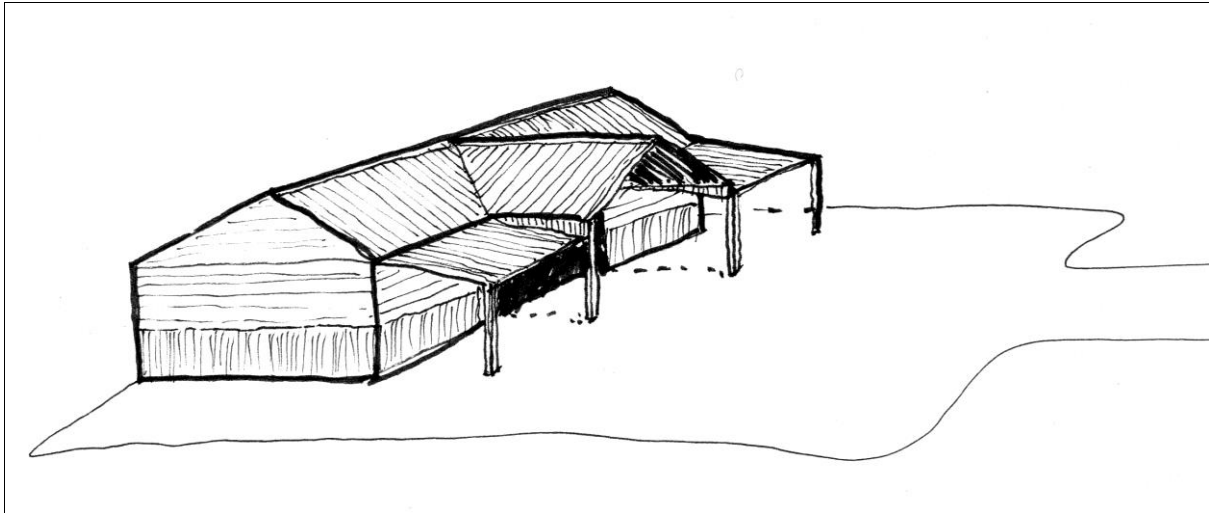
The Bega men's shed uses a combination of corrugated colorbond as a base and fibre cement weatherboards for the upper half of the walls.



Cricket Australia building / shed at Woden Valley Oval. The fence in front of the shed has been deleted and replaced with low maintenance landscaping. This removes the waste space between the fence and the building and frees up space between the building and oval on the other side.

Recommendations

37. The building should have a gable roof with pitch matching the other more historic buildings on the site. The wall facing the oval could include an additional gable with high doors and a covered external area. The walls could comprise a combination of materials such as corrugated iron or brick in the lower half with fibre cement weatherboards in the upper portion. The design should seek to have one face along the perimeter boundary



Concept for shared maintenance facility M5 with centre gable facing the oval

Covered animal stalls (refer Action H16)

Stall design

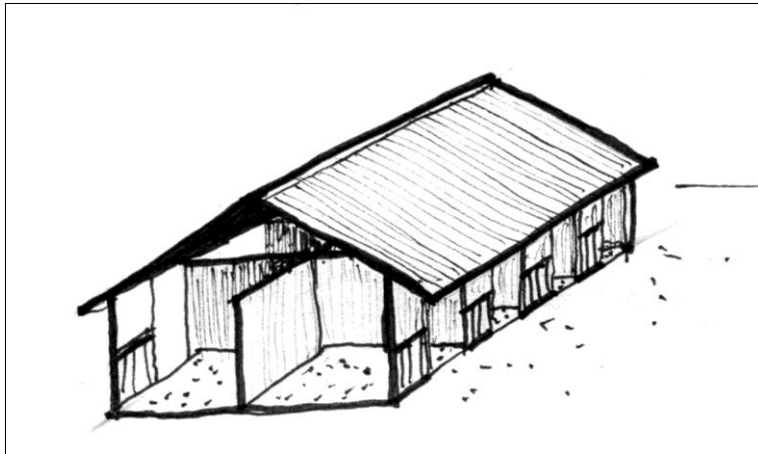
It is anticipated that stalls will be mainly for day use with similar size requirements as those presently on the site. The final design should fit with the overall historic character proposed for the showgrounds and could have a gabled roof covering two sets of stalls back to back, or four smaller free standing units. Drug testing facilities can be located at the end of the structure. Examples from elsewhere are shown below.



A gable-roofed stall three bays wide with secure spaces in the rear corner.



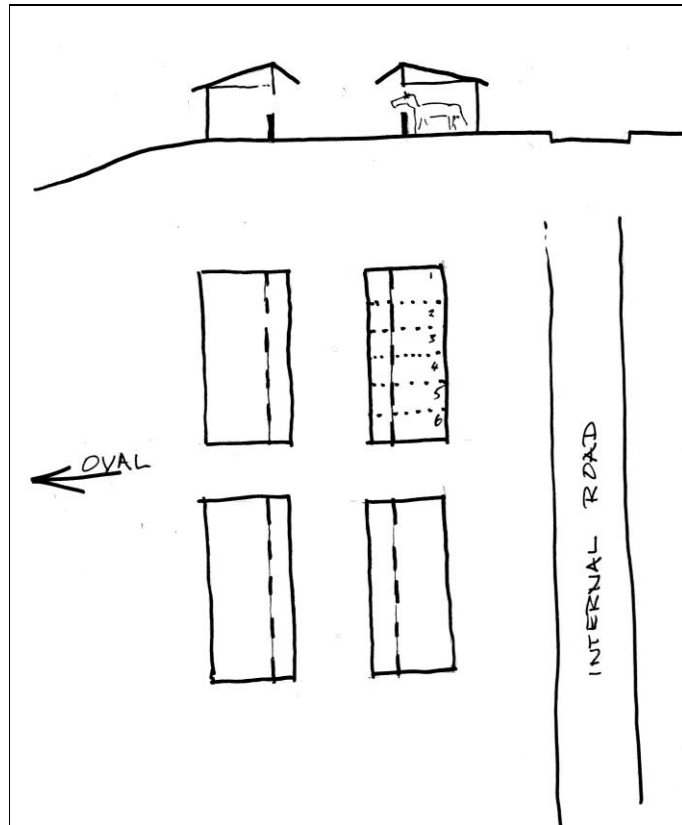
A gabled roof stall constructed from robust and durable timbers with simple but well executed attention to detail. This building style would fit well with Moruya's historic character.



A gable roofed structure with walls back to back. This structure uses fairly basic building systems and could be constructed economically.



This is a modern set of stalls with powder coated steel frame, timber wall dividers and corrugated metal roof. Note that the roof ridge sits over the front line of posts creating a gable like effect that fits with Moruya Showground's character. The stall could be arranged back to back with a valley gutter between, or with fronts facing across an open walkway as shown below.



Open stalls facing one another in four banks of six. Solid timber panelling could be added around some stalls to cater for differing needs of horses and owners. Drug testing located under the extended roofline.

Recommendations

38. Design of stalls should fit with the overall character of the showground.
39. Construction should be either timber or powder coated steel supporting a pitched corrugated iron roof.
40. To fit with the general scale of other buildings in the showground the stalls should comprise two or even four units rather than one large structure. The development of four smaller units allows for staged development, adaptation of units for specific types of animals and good cross flow ventilation given use of facilities during summer.
41. It is recommended that the final design of stalls be developed during the detailed design phase following further consultation with stakeholders.

Basketball Stadium (refer Action L2)

Stadium design

Options to improve the appearance of this building are set out below in the following images.



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- Open the centre of the wall to create a large welcoming entry foyer.
- Install more attractive security screening to the windows.
- Visually soften the front verandah by adding a secondary beam below the fascia and planting hardy vines/creepers to grow up posts and along the beam. This is a tough building and can handle plants growing on it.



- Delete the end cladding outlined in yellow so the verandah reads more neatly as a skillion.
- Re clad the gable end shown white, on vertical 'Dune' corrugated colourbond to visually lighten the building.
- Grow Virginia creeper or similar climbing vine over the brick wall to mask it with vegetation. Plant small light-weight shrubs in front of the west wall to mask the wall but not interfere with power lines.



- Reclad the south and east elevations in off-white vertical corrugated colorbond.

- Plant four or five medium sized bushy trees between the fence and building to create a visual screen in the foreground.



- Reclad end wall and expose front skillion verandah.
- Introduce narrow light weight trees as screen planting between the east wall and entry fence



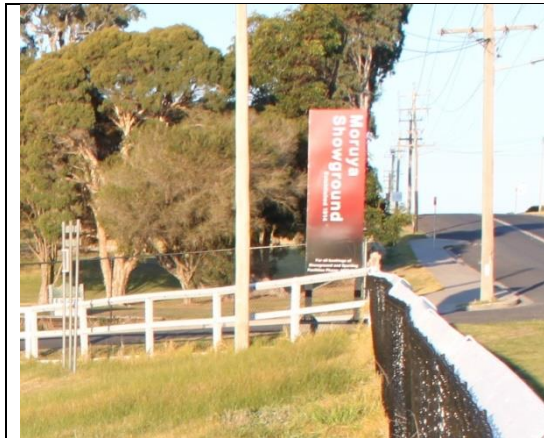
Low height and low maintenance trees used as a visual screen in front of a large rowing shed.



Vegetation climbing frame used to mask building. Climbers (if ever planted) have not been maintained. Even so, the screen aids in breaking up the scale and impact of the shed behind.

Feature entry signage (refer Action H9)

Signage design



Showground sign seen from west



Showground and basketball stadium sign at entry

The current showground sign is no longer considered appropriate. The style, font, text orientation and background colour have little if any relevance to the grounds, their use or history. The basketball sign is almost illegible and suggests a low-grade make-do facility. There is the opportunity to make the sign more relevant and more welcoming. It may also be possible to use the sign to partly screen the stadium.

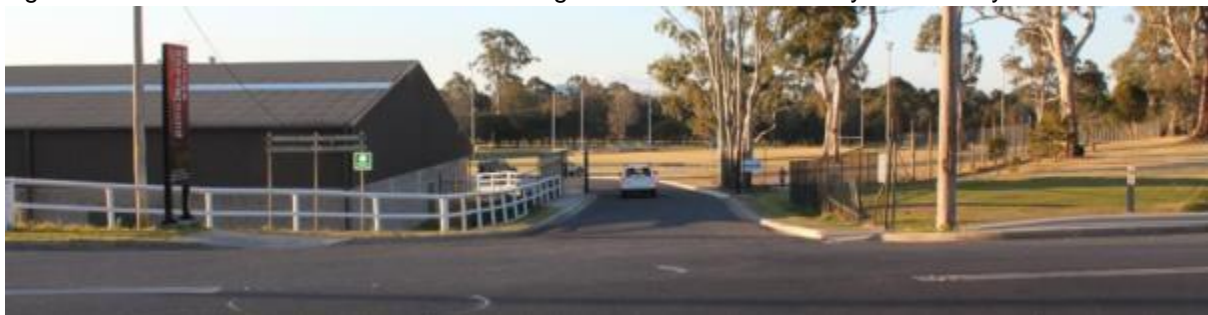
The signage needs to alert attendees to the primary entrance, while redirecting other users to alternative entries if necessary. For example large trucks may be redirected to the secondary entrance further west on Albert Street.

It may be appropriate to use the signage to identify key user groups such as the annual show, the rodeo, other horse events, poultry events, the football and the stadium, and when certain events are to be staged.

Entry concepts

The current entry to Moruya Showground lacks an atmosphere of ceremony or welcome. It is poorly landscaped, has no sense of 'arrival' and reads more as an afterthought. The poor quality of the entry is exacerbated by the poor signage and the large industrial styled stadium.

The entry could be enhanced by visually prominent fencing on both sides of the driveway that lead the eye and the driver to a formal and attractive entry point through which the grounds are 'framed'. The fencing would partially block views to the stadium and could be designed to incorporate suitable signs. At no time should commercial advertising be allowed in the vicinity of the entry.



Current entry to the showground 2018

Some showgrounds erect prominent entry structures at the gates to commemorate events or people and to create a sense of ceremony for the occasion. Queanbeyan Showground has continued the Art

Deco designed gates in Lowe Street to create the entry on Farrar Place and more recently the truck and vehicle entry on Glebe Place at the rear of the ground. The gates use planter beds and other landscape features to enhance the entry.



Art Deco gates erected circa 1930s, Lowe St Queanbeyan. Note that the sign incorporated into the edge of the planter bed is not ostentatious but remains clearly legible.



New gates in Farrer Place circa 2010 continue the Art Deco theme.



Large vehicle gates in Glebe Place Queanbeyan erected circa 2015 draw on the earlier design.



The brick gates at Seiffert Oval Queanbeyan were considered to be significant items to be preserved during major upgrades and additions to surrounding recreational facilities. Google image



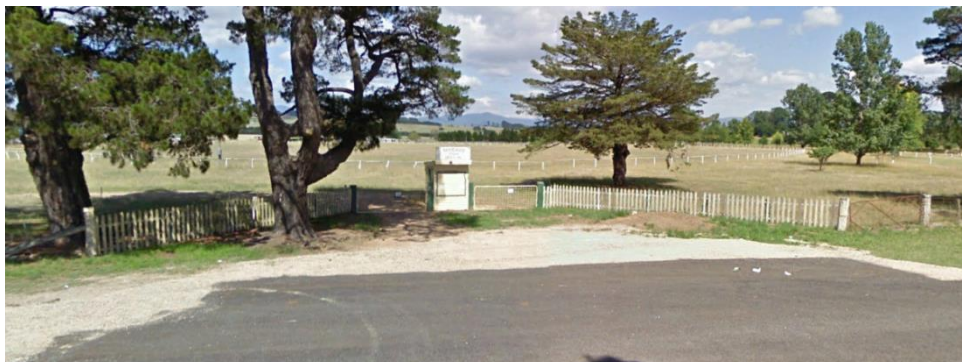
The gates at Yass football oval commemorate a significant member of the community. The entry is enhanced by flanking walls built from the same stone and the landscape's symmetrical layout.
Google image



At Yass showground the gates are constructed from brick and include plaques and decorative wrought iron gates. Google image



Bowral and districts showground entry gates. Google image



Like many other grounds Braidwood has a primary central entry and exit with picket fences to either side. An additional large vehicle entry is located elsewhere on the site. Google image



Metal picket fence at Australian Defence Force Academy has a traditional appearance but is low maintenance.

Recommendations

42. Relocate the black chain-mail fence on east side of driveway to be closer to the Tee, and build a new fence to match white fence on the western side. This is to create a more successful sense of entry. These could be the timber railing that is there at present, or they could be painted vertical timber (or colorbond) pickets. (See pickets at ADFA oval).
43. Erect a formal pair of pillars at the entry. Interestingly, openable gates are often installed but rarely used.
44. Incorporate entry signage into the overall landscaped entry design. The entry sign will display the name Moruya Showground and may also include panels indicating future events and dates.

Interpretive signage (refer Action M15)

Signage design

There are three structures of heritage value that would benefit from having their history interpreted to the public, namely the grandstand, the pavilion and the historic storage shed. The history of the showground, its relocation and development is also worthy of interpretation. These are likely to be of interest to local community members and visitors alike. It is envisaged the interpretation will consist of a few individual panels located close to or on the items they are explaining.

Eurobodalla Shire Council were developing a signage strategy and style for the whole shire at the time this report was written and it is assumed the interpretative signage for the showground will be developed as a subset of the wider shire strategy.

Recommendations

45. Interpretative signs will be consistent with ESC Shire wide signage strategy and will focus on then grandstand, the pavilion, the historic storage shed and the overall history of the showground. It is likely these will be plaques attached to the relevant structure.

Fencing (refer Actions M7, M8 and M10)

Fencing design

The current perimeter fencing is in poor condition and warrants replacing. The security fence along Albert Street should be of a high quality and it seems appropriate for it to be the same as that on the school opposite.

Around the remainder of the showground's perimeter black powder-coated chain-mail fencing would be adequate.

Where additional fencing is required within the showground the type of fence should meet the circumstances eg is it defining space, excluding vehicles or controlling movement of people and animals?

Use of high chain mail fencing within the grounds (as opposed to the perimeter) should be avoided as it is rarely fully secure and not of an appropriate character. Chain mail fencing on a steel pipe frame and top-rail to a height of 900 - 1200mm is considered to be acceptable.

Post and rail fencing has been used in the past at the Moruya Showground and is suitable in terms of character. However unless it is clad with mesh or similar it is useful only for defining space, and discouraging vehicles from moving onto certain areas.

Painted timber or metal picket fencing would also be suitable in certain circumstances as it is in keeping with the historic period of the grandstand, exhibits pavilion and historic storage shed.

Because of the irregular usage pattern by pedestrians, vehicles and animals, fencing within the built area should be kept to the minimum necessary and in some instances a solution using posts, bollards or plants may be more suitable.

As noted previously in this report, the fence on either side of the entry road between Albert Street and the entry gates has more of an aesthetic than a security role and should be designed to lead the eye to the entry gate. Something more solid than a post and rail fence is usually used in these circumstances.

Recommendations

46. The security fence along Albert Street should match that of the high school. Elsewhere the perimeter fence can be black powder-coated chain mail
47. Fencing either side of the entry road between Albert Street and the gates should be the same, and visually prominent. White timber or metal powder-coated pickets fulfil this purpose.
48. Where fencing is needed to define internal areas it can be white timber post and rail as per the current entry fence, white powder-coated metal picket, or timber bollards.

Summary of Recommendations

Grandstand

1. Obtain historic photographs of the grandstand.
2. Obtain a structural assessment, especially beneath the seating area.
3. Upgrade the tiered seating allowing for separation between walking and sitting surfaces.
4. Introduce a central aisle with additional steps. Add slatted timber seats, allowing for foot traffic behind. A hardwood timber such as ironbark is recommended for durability and reduced fire risk.
5. Design and construct so that the whole tiered seating area can be pressure washed from time to time.
6. Improve sun-shading through the addition of vertical slatted boards across the upper front and sides.
7. Upgrade mesh in the side rails to vertical alignment and powder coated to black. Side and front balustrades need to be BCA compliant. A more attractive alternative would be to replace the mesh with vertical slats of timber or powder coated steel, although mesh presumably allows better visibility of events. A common balustrade treatment for many grandstands from the turn of the 19th century is to infill railings with diagonal timbers. These can be backed with fine mesh to meet BCA where necessary and are relatively transparent.
8. There is no gutter on this structure. If it is to remain without a gutter then roofing iron should be extended approximately 200 – 300 mm beyond the fascia to shed rain water. Alternatively, install gutter, gutter guards and downpipes.
9. The round steel handrails are inconsistent with this building's historic character. They should be replaced with traditional timber posts and handrails.
10. A feature tree should be planted at either end of the grandstand. The tree should be of low maintenance, easily mown around, not obstruct vision and of a suitable scale and foliage to enhance the structure. An appropriate species of palm tree address these criteria and were a popular choice to enhance buildings around 1900, when the grandstand was erected. A grove of palms can be seen in the adjacent golf course. Palms are also suitable as advanced specimens
11. Paint the grandstand in accordance with the following guidelines.

Amenities block behind grandstand

12. The amenities block should be at the rear of the grandstand, and have less of an east-west dimension so that the original proportions of the grandstand remain clearly evident.
13. Current heritage philosophy suggests that new structures adjacent historic buildings be in a style of their time. The building could be conceived either as a simple skillion attached to the main building, or as a more modern skillion attached to the grandstand by a lower-roofed link. Another option is to link the toilet block roof to the grandstand with a narrower and lower flat roof. This enables the toilet block to have a reverse skillion and more modern styling. Of the two options, the use of a linked, modern but sympathetic skillion is preferred.

Historic pavilion and attached structures

14. The decorated entry porch at the northern side of the historic pavilion should be repainted to subtly enhance its detailing. One option is as follows:
 - Dulux Lime White - walls and gable to match the Grandstand
 - Dulux Blue Accolade - a darker blue /grey for posts, top of handrail and barge capping, door frame
 - Dulux Bay's Water quarter - a soft pastel blue for decorative barge board, porch valance, intermediate handrails, vertical panelled door
15. The colour scheme selected for Recommendation 14 should then be more or less reversed for each of the four gabled structures, as follows:
 - Dulux Lime White walls, Blue Accolade trim - Front pavilion
 - Dulux Blue Accolade walls and Lime White trim - Second pavilion and skillion
 - Dulux Lime White walls, Blue Accolade trim – Sports amenities section
 - Dulux White Box (pale pastel green) walls with Natural White trim – Poultry Pavilion
16. To provide weather and sun protection, and to enhance the historic character of the west elevation it is recommended that simple corrugated iron awnings be installed over each central doorway as per the below image.
17. To improve ventilation in the Poultry Pavilion it is recommended that a ventilated clerestory be added into the roof as indicated below. An awning should be added over the western doorway to provide additional sun and rain protection. This could also be extended the full width of the gable if desired

Historic storage shed

18. Sympathetic adaptation of windows and doors would be appropriate and detailing should generally follow the existing.
19. Location, orientation, window and door arrangements plus colour scheme will all depend on the building's final location. It is recommended the building be co-located with the proposed secretary's office and linked with paving, decking or a covered walkway.

Caretakers Cottage

20. It is recommended that the caretaker's cottage not be realigned and that the final arrangement of these structures be resolved as part of the detailed architectural design and layout of the group H2, H3, and M3.
21. The caretaker's cottage could be extended through the addition of shallow pitched skillions or linked pavilions with a roof pitch similar to existing. A small addition could be done as an attached skillion, but a large addition should have a pyramidal roof with a small connecting link. Additions would best be located on the east west or north sides depending on internal design layout.
22. Recommend colour scheme is walls Dulux Warm Neutral with Natural White trim

Secretary's office

23. It is recommended that the caretaker's cottage be modified and extended to accommodate the secretary's office function, with links as necessary to fully accessible toilets and the historic storage shed (new museum).
24. If a new building is to be constructed then the general guidelines are for a building that is of its time (2020?) but respects and is sympathetic to its heritage context.

New Caretakers residence

25. The building will have a light-weight coastal feel and may read as an elevated dwelling with infill panelling below to create the storage area. The structural system will be expressed where appropriate.
26. Cladding materials will include exposed or painted timber, fibre cement sheet with or without battens, corrugated steel and possibly some rendered masonry below.
27. The roof will be moderately pitched corrugated steel with generous overhangs at sides and ends. The roof form may be composed in different sections to express different functions within the building – which could help to break up scale and provide interest.
28. Detailing should be modern, simple and elegant. The architecture should respond to different height requirements in the storage area. A building that expresses the storage and residential functions separately might also be possible.

New bar

29. The new bar should be a simple structure that focusses its attention towards the ring.
30. The roof will be pitched, with a deep open gable facing towards the ring. The pitch doesn't need to be as steep as that on the pavilion but should nevertheless be generous. The sides of the bar building are important as the east side faces towards the historic pavilion and will contribute to the sense of the street rising up to the Poultry Pavilion and the stadium. It could have a smaller gable facing the pavilion. The west side will face towards the grandstand and to an area that sometimes includes temporary structures.
31. The inside of the building should include space for kegs, bottles, general equipment storage, taps and sinks. A secure storage area should be established at the back of the bar that has the ability to include a cool room.
32. External to the bar will be a covered area for patrons when being served, and nearby by will be some seats and tables. Shade trees will be strategically located. The drinking area will be attractively landscaped and will include a mix of hard and soft landscaping, possibly loosely defined by a fence or low hedge.
33. Between events the bar will be able to be securely locked down and used for storage of any unsecured outdoor furniture.
34. The core structure (bar, store, cool room and wc's) should be constructed in manganese coloured brickwork or glazed tile cladding with trim in oiled timber such as Merbau.
35. Install rubbish bin cages around the showground site so that the bar building is not used for this purpose.

Official's Tower

36. This building should be a minimal structure of open steel frame or clad in corrugated iron or mock weatherboards.

Shared maintenance Facility

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37. The building should have a gable roof with pitch matching the other more historic buildings on the site. The wall facing the oval could include an additional gable with high doors and a covered external area. The walls could comprise a combination of materials such as corrugated iron or brick in the lower half with fibre cement weatherboards in the upper portion. The design should seek to have one face along the perimeter boundary

Covered animal stalls

38. Design of stalls should fit with the overall character of the showground.
39. Construction should be either timber or powder coated steel supporting a pitched corrugated iron roof.
40. To fit with the general scale of other buildings in the showground the stalls should comprise two or even four units rather than one large structure. The development of four smaller units allows for staged development, adaptation of units for specific types of animals and good cross flow ventilation given use of facilities during summer.
41. It is recommended that the final design of stalls be developed during the detailed design phase following further consultation with stakeholders.

Showground entry

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