

ADOPTED
22 May 2007

Moruya Structure Plan

A Structure Plan for the Town of Moruya



This document was prepared by:

Strategic Planning Unit

Eurobodalla Shire Council

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This document was adopted by Council on
22 May 2007.

Acknowledgements

A special thank you is extended to all those who contributed to this Structure Plan (the Plan). In particular the Community Reference Group, who helped with setting the vision and character statements for Moruya and mapping areas for varying intensities of development. The general public was also invited to provide its views and comments on the Plan, attend the open days and make formal submissions during the exhibition period.

Community Reference Group

The volunteer members of the Moruya Community Reference Group are particularly thanked for contributing their knowledge and insights over the course of the project. Committee members were:

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Public Exhibition

How was the public involved in shaping the Moruya Structure Plan?

Councillors, as the elected representatives of Eurobodalla's residents and ratepayers, had the decision making power over the intent and content of the Moruya Structure Plan. However, the Councillors' decisions on the Plan were informed by community comments.

Council undertook significant and broad community consultation that had a major influence on the Moruya Structure Plan.

A Community Reference Group was created by Council to provide feedback on the substance and form of the draft Structure Plan. The group was a forum for individuals from a cross-section of those living or working in Moruya to share their views with each other and Council staff. Radio spots, newspaper ads and postings around Moruya were used to encourage the public to apply to become members of the group.

This group provided practical and informal input to Council staff throughout the preparation of the draft Plan. Group members' input into the structure plan was developed through informed discussions and debates. The Reference Group provided an additional level of public involvement, which expanded the opportunities for public involvement in planning for Eurobodalla's future.

On December 19, 2006, Council resolved that the draft Moruya Plan go out on public exhibition. This provided numerous opportunities for the public to advise staff on their views and put formal submissions to Council. During the exhibition period, the draft Plan was on display at Council's offices in Moruya and on the Council web site. Multiple copies of the Draft Plan were available at local libraries as overnight loans. Council conducted two open days in Moruya during the exhibition period to provide a convenient way for residents and visitors to learn about and comment upon the draft Plan.



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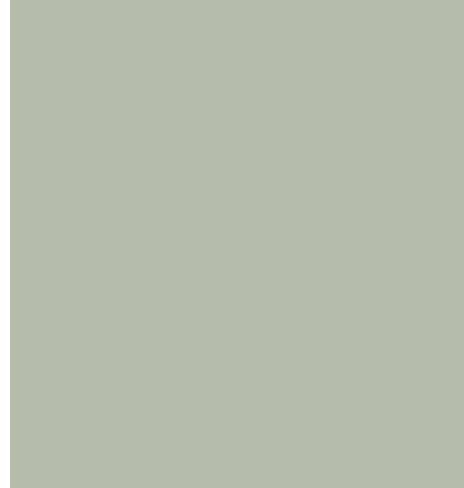
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Introduction



"Of real importance in these times of high growth is the need to ensure that our local communities develop in a way that protects their character and that services are located to best meet the needs of our residents" — Eurobodalla Shire Council Management Plan 2005 - 2009

What is a structure plan?

A structure plan is a visionary document setting out the strategic planning framework for development over 25 years (2006-2031). This Structure Plan sets out the strategic planning framework for protection of our environment and the scale, pattern and broad location of development, including provision for new housing and business in Moruya. It does not zone individual sites; this is the job of the Local Environmental Plan. The purpose of a Structure Plan is to guide the preparation of a Local Environmental Plan and provide a framework within which decisions on future land use zoning can be made.

A structure plan is not a planning scheme and does not have a role in development assessment. It is a strategy for understanding and managing growth and development in the study area. Given that a Structure Plan deals with outcomes on a broad scale, it is sensible to include the more detailed development controls within a comprehensive town-specific Development Control Plan. This Structure Plan for Moruya, known as the "Moruya Structure Plan":

- identifies the location of future residential areas;
- identifies the location of future commercial and industrial precincts;
- articulates a road hierarchy and identifies movement corridors;
- incorporates good urban design principles that are characteristic of the area as perceived by Moruya residents; and
- considers and incorporates community vision principles derived by the Community Reference Group.

Extensive Community Consultation has taken place to help shape the document to ensure that necessary development happens in a way that brings benefits to the people of Moruya and to future generations. The plan has been developed through a participatory process that has involved Council working with the community - its' residents, business owners, developers and the appointed Community Reference Group.

Moruya's distinctive character is one of the significant features that this Structure Plan seeks to retain and strengthen. Its distinctiveness is based on its Inland Coastal Town characteristics, located on the Moruya River, its heritage, and its long history as the Administrative Centre of the Shire.

The Structure Plan's prime contribution to improving economic, social and environmental well being is through promoting a more integrated, better-designed and more sustainable pattern and form of development.

The expectation is that developers, landowners and other agencies in the private and public sectors will work to pursue the objectives of this plan.

South Coast Regional Strategy

The *South Coast Regional Strategy*, prepared by the NSW Department of Planning, will guide development in Eurobodalla for the next quarter of a century. This strategy directs new development to regional growth centres and their surrounding settled areas as a means of preventing sprawl into undeveloped areas. The strategy identifies Wollongong and Canberra as Regional Cities supported by the major regional growth centres of Nowra-Bomaderry, Batemans Bay and Bega.

The *South Coast Regional Strategy* estimates that 10,700 new dwellings are needed for the Shire over this time period. It projects that about 70% of these new dwellings will be accommodated within existing vacant urban-zoned land. Much of Eurobodalla's existing vacant urban-zoned land is within Greater Batemans Bay, Moruya and Narooma. The *South Coast Regional Strategy* supports a greater mix of housing types concentrated in settled areas. It encourages medium-density and infill housing where appropriate.

It is expected that growth will be unevenly spread across the Shire. Historically, Moruya has developed as a low density settlement and it is proposed that this pattern will continue.

The benefits and costs of the "sea change phenomenon" also need to be assessed to determine their net impacts on Eurobodalla. The Sea Change Taskforce studies how rapid population and tourism growth in Australia's coastal communities impact on their quality of life. While home owners and governments benefit from rising house prices in growth areas associated with 'sea-changers', this growth can undermine many of the attributes that made these areas attractive to the sea changers and long-term residents.

Eurobodalla is experiencing increasing demands for housing, an aging population and smaller household size. Protecting the diverse natural assets and unique character of this area while providing necessary housing and services are major challenges. The *South Coast Regional Strategy 2006*, the findings of the Sea Change Taskforce and other research detailed later in this document, all inform the Moruya Structure Plan.

How do all these planning processes fit together?

The *South Coast Regional Strategy* guides the preparation of new Local Environmental Plans ("LEPs") for the South Coast of New South Wales. Eurobodalla Shire Council is required to prepare a new LEP within the next three years. Questions about land use planning can be divided into categories of why, where and how development will occur. The planning documents that answer these questions are summarised below.

WHY = Land Strategies

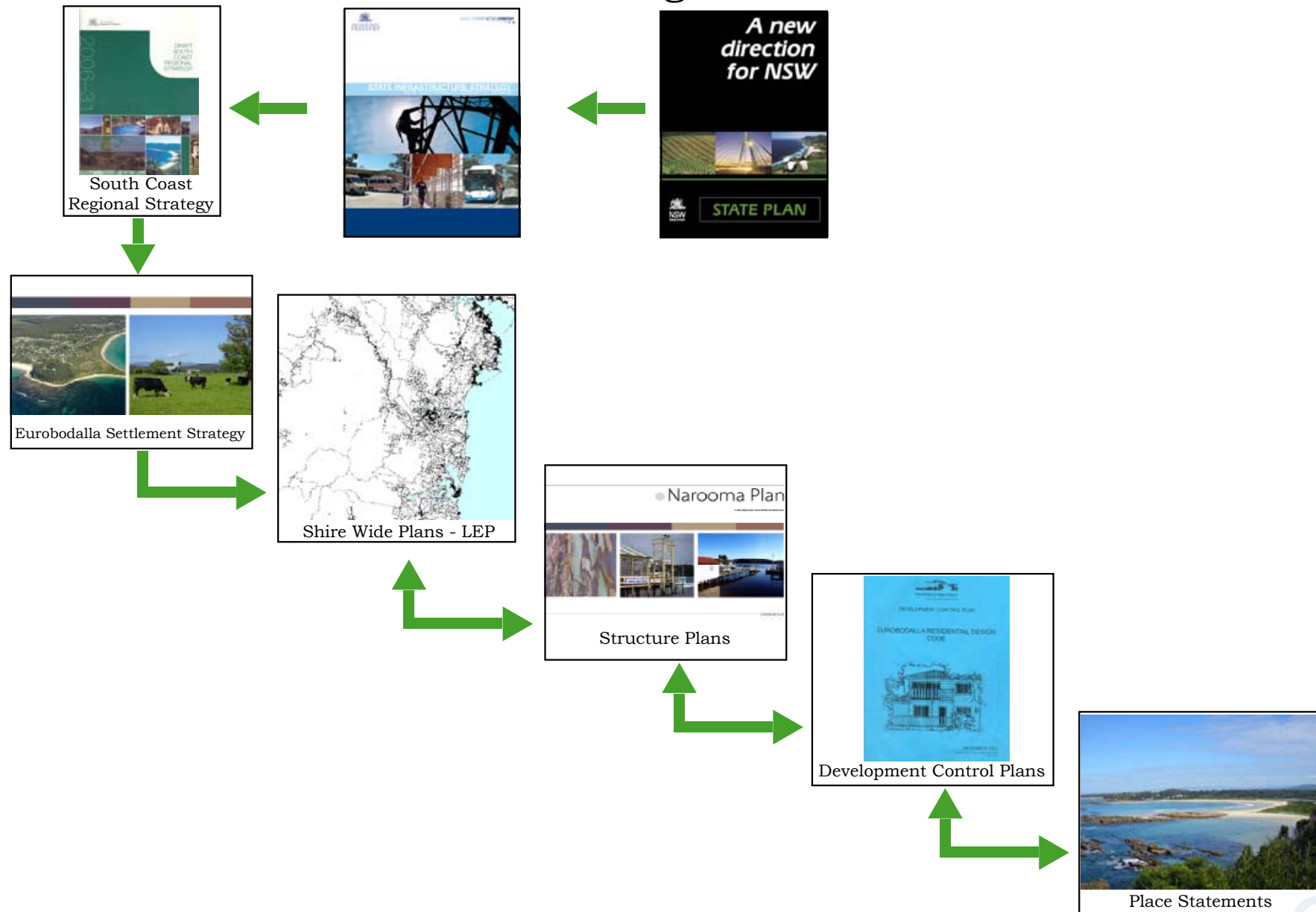
These questions are answered by the *South Coast Regional Strategy* and the Eurobodalla's Settlement Strategy. These strategies address the big picture issues – the "why" planning is needed.

Drafts of *Eurobodalla's Urban and Rural Settlement Strategies 2005* were recently on public exhibition. These drafts were combined into the *Eurobodalla Settlement Strategy 2006* (ESS) that was adopted by Council on the 5th of December 2006. The ESS sets out growth projections for the Shire and the need to balance growth with protecting the Shire's environment, industries and character.

WHERE = Structure Plans and Place Statements

These questions will be answered by Eurobodalla's Structure Plans for Narooma, Moruya, Batemans Bay Town Centre and Greater Batemans Bay, along with Place Statements for all settlements. Structure plans and place statements build on the information and direction provided from Eurobodalla's Settlement Strategy to address district issues, focusing on "where" different types and intensities of development are appropriate. Structure plans set visions for broad areas and identify the preferred location and intensity of development, along with

Planning Scales



looking at issues of access, scenic protection and environmental management objectives. Place statements will be developed for settlements to provide a long-term vision for their future development.

HOW = LEP and DCPs (the implementation stage)

These questions will be answered by development requirements set out in Eurobodalla's new LEP and Development Control Plans (DCPs).

The LEP and DCPs will build on the information and direction provided from Eurobodalla's Settlement Strategy, Structure Plans and Place Statements to address Shire-wide issues as a whole, as well as those of individual settlements, focusing on "how" development will occur. Key directions are reinforced in Council's Management Plan.

Broad development requirements will be set out in the LEP, such as height, floor space ratio and minimum lot size requirements. More detailed and location-specific development requirements, such as those for setbacks, landscaping and design considerations, will be set out in a DCP.

LEPs are statutory documents, while DCPs supplement LEPs. These documents set out the requirements for development and environmental management in the Shire.

Why does Moruya need a Plan?

Eurobodalla is at a pivotal point in planning for its future. Development pressure is increasing in line with the growing appreciation of the lifestyle and economic benefits to be gained by developing and living in coastal areas. It is crucial that planning guidelines are in place to ensure that this development is well-designed and environmentally sustainable.

Moruya is a historic inland coastal town that is understandably attractive to those seeking improved quality of life, as permanent residents or visitors. The challenge for landowners, government and the community is to ensure that the growth of Moruya complements the things that make Moruya special.

Objectives

The Plan aims to achieve the following objectives:

- Retain and enhance the historic rural character of Moruya.
- Encourage development that is sympathetic to the character of Moruya.
- Protect and enhance environmental values.
- Protect views to and from public and natural areas.
- Provide appropriate accommodation for a growing local population and an increasing number of visitors.
- Identify appropriate locations for commercial/retail, residential and tourism related expansion.
- Provide high-quality and accessible open space (with particular emphasis

on improving connectivity between public areas) that contributes to the quality of the built and natural environment of Moruya.

Core Principles

The core principles of this structure plan are:

- To make a positive contribution to the quality of life of the Moruya community. This includes contributing to the safety, amenity and convenience of the area. New development should complement the community's sense of place and local distinctiveness.
- To maintain the character of Moruya and the separation of settlements through retention of natural areas, thereby conserving biodiversity and ecological integrity.
- To provide sufficient housing of a suitable range, quality and diversity for the people of Moruya.
- To build social capital (e.g, community spirit, a sense of belonging and trust).
- The importance of a high-quality built environment (sense of place).
- To direct development to established service areas within settlements according to the population size, intensity of development, servicing requirements and servicing capabilities.
- To protect surrounding rural countryside and the natural environment by minimising sprawl development, identifying and directing development away from productive agricultural land, promoting the renewal of previously developed land, especially within the existing town footprint.

- To anticipate and reduce the impact of future climate change through the management of areas subject to natural hazards and reducing demand for energy (car dependence).
- To require high quality design that uses land, water, energy and other resources efficiently and provides for changing lifestyles and preferences.
- To reinforce the role of the town as the Administrative Centre for the Shire housing the local government, health and educational facilities.

Sustainable Development Directives

Central to principles of sustainable development is the argument that there are limits to urban growth. Unregulated urban sprawl is inefficient and brings with it a range of social inequities. This structure plan recognises that the carrying capacity of the natural environment and the resources that are needed to sustain settlements are finite. The concepts of containment of our urban areas, by setting clear and defined boundaries, and making best use of existing urban areas (through increased densities where appropriate and urban renewal) is an attempt to address this issue.

The primary purpose of the Moruya Plan is to protect and enhance the environment and achieve a sustainable pattern and form of development. This will be done principally by:

- protecting the surrounding countryside and natural environment for future generations;
- using infrastructure more efficiently by providing greater densities of development where services, such as sewerage and water are available;

- reducing reliance on new release areas to accommodate all forms of built development;
- protecting and enhancing features of importance in the natural and built environment;
- reducing the need to travel by encouraging the availability of a choice of transport modes and improve access for the community;
- encouraging high-quality development and innovative design that reflects Moruya's identity and local character; and
- responding to the implications of long-term climate change by reducing consumption of resources, particularly non-renewable resources; promoting the efficient use of energy, water and other natural resources; and safeguarding areas of potential flood risk from development.

Please note that the following text in the shaded grey box, are extracts from various Council documents. They are intended to provide additional content for the plan and sit apart from the Plan.

Sustainability Principles

This Plan is underpinned by Council's Sustainable Living – An Integrated Approach Policy and is intended to promote and reinforce the principles of sustainable development. The aim of that Policy is to provide guidance to the community in planning for and maintaining a sustainable and healthy economy, community and environment. The Moruya Structure Plan also forms part of Council's Management Plan. Our aim is to guide the pressures of development on land, water, atmosphere, human resources, and biodiversity and respond to climatic change. This aim is consistent with the Australian Capital Region State of the Environment Report 2000 in that we will work with the community towards achieving social, economic and ecological wellbeing. To assist decision-making, including those on identifying land use zones and appropriate development types, the following principles are considered in addressing the cumulative impacts of development activities on natural and built environments:

The Precautionary Principle

The precautionary principle - where there are threats of serious or irreversible damage to the community's ecological, social or economic systems, a lack of complete scientific evidence should not be used as a reason for postponing measures to prevent environmental degradation. In some circumstances this will mean actions will need to be taken to prevent damage even when it is not certain that damage will occur.

The Principle of Intergenerational Equity

The principle of intergenerational equity - the present generation should ensure that the health, integrity, ecological diversity, and productivity of the environment is at least maintained or preferably enhanced for the benefit of future generations.

The Principle of Conserving Biodiversity and Ecological Integrity

The principle of conserving biological diversity and ecological integrity - aims to protect, restore and conserve the native biodiversity and enhance or repair ecological processes and systems.

The Principle of Improving the Valuation and Pricing of Social and Ecological Resources

The principle of improving the valuation and pricing of social and ecological resources - the users of goods and services should pay prices based on full life-cycle costs (including the use of

natural resources at their replacement value, the ultimate disposal of any wastes and the repair of any consequent damage).

The Principle of Eliminating or Reducing to Harmless Levels

The principle of eliminating or reducing to harmless levels - any discharge into the air, water or land of substances or other effects arising from human activities that are likely to cause harm to the environment.

The Principle of Encouraging a Strong, Growing and Diversified Economy

The principle of encouraging a strong, growing and diversified economy promotes local self-reliance, and recognises and strengthens the local community and its social capital in ways that safeguard the quality of life of future generations.

The Principle of Providing Credible Information in Open and Accountable Processes

The principle of providing credible information in open and accountable processes - encourages and assists the effective participation of local communities in decision-making.

Financial Strategy (see also ESC Management Plan)

The Financial Strategy for the General and Environment Funds is aimed at 'giving legs' to the public facilities identified in the Eurobodalla Settlement Strategy (ESS) based on a hierarchy (please refer to the Financial Strategy contained within Council's Management Plan for funding allocation). In many cases, they are unfunded projects identified in previously adopted strategies and plans of management. It is aimed at positioning budgets to generate revenues to finance the projects and services to support the Eurobodalla Settlement Strategy, Structure Plans and Social/Cultural Plans, and to move to the assignment of construction and service standards for facilities and infrastructure based on the hierarchy established in the strategies.

There are several avenues to source funds to implement the actions identified in the Eurobodalla Settlement Strategy. These same sources may also be used to fund public services and facilities identified in structure plans for the major towns.

Anticipating the growth in property owners capable of claiming a pension rebate on rates, water and sewerage charges will rise and potentially reduce the 'purchasing power' of the rate revenue, it is expected new public services - particularly in the area of community and environmental services - will be funded by government grants, development contributions and supplemented by rate revenues. It is expected the rise in pension rebates will erode the value of rating of new properties, estimated at 300 per year.

Sources of funds include, but are not limited to, the following:

Council general funds

General funds are allocated in the annual review of the Management Plan. This strategy may cause submissions to be made to the future reviews where consistent with the broad or specific objectives of the Management Plan.

State and federal programs

Submissions will be made to the NSW and Commonwealth Government where programs for funding are made available for which specific actions of the settlement strategy would qualify, for example, the state Planning Reform Program and the federal Natural Heritage Trust.

Public land assembly

Council-owned land may be assembled to facilitate development or to generate revenue through land sales for the provision of infrastructure. Commercial lease or licensing arrangements for the private use of public land, including Crown land vested in Council's care and control, may generate funds. Partnerships with the private sector may be arranged to facilitate development. Returns on development may then be used to seed other commercial acquisitions or developments, or to acquire land or facilities in strategic locations appropriate to demographic needs.

Debt

Raising debt against the income of Council may be used to fund services, studies and other actions. Servicing of some of that debt may be recouped through the leasing of crown land vested in Council's care and control, such as caravan parks, through public land assembly and sale, though development contributions for capital works and development servicing plans for water, sewer and wastewater infrastructure.

Development contributions and Planning Agreements

Recent changes to section 94 of the Environmental, Planning and Assessment Act have expanded the ways in which Council can levy new development to contribute towards the cost of providing public facilities that caters to demands created by that development. Council can now negotiate planning agreements as one-off financing mechanisms for specific infrastructure items as well as preparing contributions plans to levy standard rates for particular developments. Development contribution plans will draw on facilities or projects adopted in current plans of management, cultural plan and estuary management plans for example, identifying nett present value (NPV) of those facilities and amortising maintenance and renewal of those assets. When those public facilities cannot be provided on site, a contribution in accord with the development contribution plan may be paid to a public authority. Contributions are made towards upgrading

or expanding roads, water, sewer, stormwater, waste, buildings and other infrastructure based on the additional demands or loads placed on the infrastructure by new development.

Development incentives

More intensive use of key sites that are identified in structure plans as being capable of accommodating higher densities or heights may be facilitated in exchange for the provision of public facilities, such as car parking, on or near those sites. Incentives such as bonus rights may also be used to secure land through dedication as public open space, road, car parking or environmental protection.

Rezoning levies

Opportunities to levy developers on the rezoning of land for a higher and more intense use, from rural residential to urban for example, will be explored. This mechanism may apply as a standard rate per hectare of land rezoned to provide funds for public services and facilities, and to respond to the environmental and social impacts of population growth.

Stewardship payments

To assist with environmental conservation measures, stewardship payments in the form of offsets, bonus or tradeable development rights, rate rebates or interest-free loans may be made available to land owners to retain, revegetate and restore ecosystems and habitat linkages, and to carry out revegetation of riparian zones, fencing along stream and river banks, and rehabilitation of stock crossings or erosion scour points and the like. Similarly, payments may be available where an action is carried out on public land consistent with a plan of management or an estuary management plan. The use of offsets is subject to agreement by the NSW Government and the establishment of an administration system.

Infrastructure fund

Raised by special general rate variations, infrastructure funds are committed to the renewal and rehabilitation of existing road and bridges, civic buildings and recreation facilities. The value of the fund is increased by rate-pegging set annually by the state government.

Water cycle fund

Dividends derived from any profit on operations of water and sewer in accord with state government guidelines are dedicated to the management of the river catchments from which water is harvested or into which wastewater or stormwater is discharged.

Environment fund

Following completion of a range of studies and plans to manage habitat and estuaries, environment rates may be used to sponsor volunteer projects, provide seed funding for rehabilitation works on rivers, estuaries and vegetation, or be used as stewardship payments to rural landholders to conserve valuable vegetation, habitat, wetland or estuarine systems. The funding could be provided to support management of those areas in accord with other incentives administered by state government such as voluntary conservation agreements, property vegetation plans, or biodiversity offsets.

Stormwater fund

Raised by a flat charge on developed urban properties, the stormwater charge is used to maintain and renew existing stormwater systems. It will also be used to improve the quality of stormwater discharged into waterways. A mix of hard and soft (or natural) infrastructure may be used. Developed urban properties will be identified by connection to water, waste services or urban properties with buildings constructed as identified by land monitor.

Triple Bottom Line (TBL) Matrix

A TBL matrix that ranks projects according to the environmental, social and financial outcomes may be used to assist the prioritisation of new projects or facilities. The matrix places equal importance on each aspect and is a means to implement the principles of sustainable development.

A TBL matrix may be used along the following lines.

- list key directions, principles or objectives of those strategies and plans, grouped into the areas of environment, social and economic,
- cross-list the set of projects or facilities identified in those strategies and plans,
- rank the anticipated outcome brought about by those projects or facilities against the directions and objectives of each particular strategy or plan,
- calculate the initial capital and recurrent costs of the top projects or facilities in accord with asset management principles,
- estimate the sources of funds to support those top-ranked projects or facilities, and place those projects or facilities into the draft Management Plan.

Context of this Plan

This Plan has been developed to help implement the *NSW Coastal Policy* and its *Coastal Design Guidelines* in a local context. It aims to inform a new Local Environment Plan to be prepared for the Eurobodalla Shire and subsequent Development Control Plans.

This plan addresses the 25 year period 2006 - 2031.

Where does this plan apply?

This plan applies to the inland coastal town of Moruya including the settlements known as Moruya Heads and the North Moruya industrial land as described in the Locality Plan and Locality Map shown at the end of this section.

Community Participation

During 2005, Eurobodalla Shire Council prepared a Draft Urban Settlement Strategy, providing a framework for managing urban growth in the towns, villages and hamlets of Eurobodalla Shire. The Strategy provided planning directions to ensure that future development is well located, well designed and environmentally sustainable.

In developing this Strategy, Eurobodalla Council asked the Illawarra Regional Information Service (IRIS) to conduct a community visioning exercise with the residents of Eurobodalla. This included an extensive telephone survey as well as a series of community workshops. The purpose of this consultation was to allow the people of Eurobodalla to express their views on issues such as youth facilities and services, existing consultation processes, the local economy, unemployment, infrastructure and development. Following are some of the issues that were raised by the people of Moruya in this process. A comprehensive report on the findings can be found on Council's website.

Moruya and Surrounds, Resident & Stakeholder Opinions

Moruya stakeholders voiced strong support for the idea of centralising major services and facilities in the Moruya area to ensure equitable access to essential services (e.g. health, education, government departments) for residents across the entire Shire.

The capacity of the water supply to cope with increased population and potential complications with future population growth was an issue. Highlighted was the importance of maintaining the character and integrity of the smaller towns in the Shire amidst future growth.

There was a strong level of consensus that two-storey should be the height limit in Moruya and surrounding villages and that Council should actively preserve historical sites and promote the historical significance of Moruya. It was important to these residents to maintain any historic buildings or landmarks in Moruya, and to preserve the charm and ambience of the main street.

The community expressed a need for stricter Council design regulations to enforce architectural consistency and to preserve the 'rural town' character of the streetscape. There was a level of perception that retail signage and frontages in Moruya were becoming increasingly tacky and detracting from the overall character of the town. The rural landscape was evidently a highly valued aspect of living in this area, with noted preference for medium density in designated areas over areas of continual housing 'sprawl' that consume and change the rural aspect.

Another development point that generated significant support during workshops was that it is not what is done but how it is done. Well-designed townhouses and dual-occupancy dwellings were considered far less intrusive if the design is more 'low key'.

There was some acknowledgment that 'smaller' developments, as long as they conform to Council guidelines, should be able to pass through Council without community consultation, otherwise Council becomes slowed down with processing activities. Community members made calls for a sensible balance between bushfire management and excessive tree clearing, with the additional point that approaches to tree clearing also need to be mindful of maintaining wildlife corridors.

The community voiced its support for more light industry located away from residential areas. Council should actively support light industry to the area by offering incentives, such as rates relief, for developing industries. The rural landscape was a defining feature and valued aspect of the Moruya area, with many participants wanting to retain agricultural land wherever possible. Support for alternative uses for rural land, such as organic/biodynamic farming or niche farming practices, was also expressed.

There was strong support for the concept of a super regional hospital in the Shire, as long as it was located in the Moruya area.

Moruya, as the central point for the Shire geographically, was considered the most practical location for a super regional hospital.

The current public transport system was identified as inadequate to meet the demands of youth in Moruya, which inhibits participation in a range of events and activities. Criticism was directed at the process of consultation which had been experienced as more of a 'presentation' than 'consultation'. It was noted that attendees were treated like an 'audience' rather than as participants, with limited opportunity to voice opinions. Community meetings were criticised as being 'undemocratic' because they tended to be monopolised by a handful of community representatives with minimal opportunity for everybody to discuss their concerns.



Moruya Land Strategies Community Meeting/Workshop 2005

Moruya Community Reference Group

The Plan has evolved through an intensive public participation process. In addition to the consultation discussed previously, Council continues to work closely with the Moruya Community Reference Group ('the Group'). The Group is made up of representatives from community organisations, professional organisations and other general community members from the Moruya area.

The Community Reference Group provides feedback regarding the substance and form of the draft Moruya Structure Plan. The Group's role in the decision-making process is to provide feedback to Council on the process and substance of the emerging draft Plan. The Group members are committed to building broad agreement within the Group about the nature and form of the plan. Group members have a deep understanding of the factors influencing the Plan through a combination of the information presented to them by Council staff and their own experiences. This knowledge informs the vision and character statements for Moruya. It also informs the Group's mapping of its preferred areas for varying intensities of development. The Group's contributions inform this Plan's analysis and recommendation.

The Community Reference Group provides an additional level of public involvement, which expands the opportunities for public involvement in planning for Eurobodalla's future. This collective public feedback has a major influence on the direction of the Moruya Structure Plan.

Drawing on the input of the Group and the larger public, Councillors will make decisions about the nature and form of the final Plan. Councillors and the Council are deeply committed to engaging the community in the development of the Structure Plan and the formation of the Group is one in a number of initiatives for achieving this.

Moruya Community Reference Group Vision

The following vision for Moruya originated from feedback received from the local Community Reference Group. The vision summarises the community's aspirations for the future of the township and helps to set the direction for the plan.



Character Statement

Moruya is the hub of the Shire, with its friendly people working together and building on its diversity to ensure a strong future. Moruya is surrounded by active farms and bush, which creates a rural setting and provides a continuing connection with the land. The river is central to the character of Moruya as a positive and defining feature, with strong visual and physical links between the town and the river. Social interactions come naturally to Moruya's residents and visitors. Shops, the market, services and community facilities are conveniently located – many of which are within walking distance from the town's centre. The heritage buildings, Aboriginal sites and art works and open spaces all add to the charm of Moruya.

Values Informing the Vision

- Moruya remains a united yet diverse community.
- The community continues to work well together in upholding the special values shaping Moruya.
- Strong links to the history of Moruya are protected.
- A high level of social integration in Moruya, especially respecting and involving the local Aboriginal community, is fostered.
- Rural lands, environmental resources and heritage continue to be valued and protected.

Vision Statement

Moruya remains the active heart and soul of Eurobodalla – a place where everyone is welcome. Moruya retains its centre status as the Shire's centre for administration, agricultural activities, medical services, sporting facilities, education and learning. Moruya continues to be a healthy and open community where its history and diversity are acknowledged and respected with particular regard to Moruya's Aboriginal history and people. Moruya's heritage buildings, landscapes and relics are protected and celebrated. Moruya's residents and visitors enjoy the river, the clean air, trees, public facilities, wide range of services and shopping options. New development will respect Moruya's historic character, natural features and community spirit. Moruya is able to retain its connections to its heritage, agricultural and the natural environment while meeting the needs of its people.

Preferred Location for Development

An exercise on preferred locations for development was conducted at the second meeting of the Community Reference Group. This provided an opportunity for all Group members to indicate, on the map transparencies provided, their views on where different types of development should occur within the Moruya study area. Each small group drew on their maps to indicate where they supported:

- a. more development
- b. the same level of development
- c. less development

The main Group was divided into three smaller groups for the purposes of this exercise, with group members selected to provide as broad a cross-section of the general Shire population as possible (e.g. representatives from geographically diverse locations and those with different stated interests).

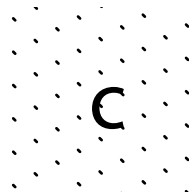
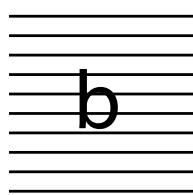
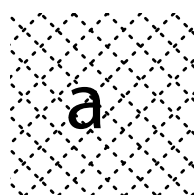
The small groups were asked to indicate their preferred areas for development using different markings to represent the above categories (a, b, c).

They were asked to keep in mind the growth demands and other planning factors raised in the handouts and staff presentations. One member from each group noted down their group's comments during this process to provide information on the reasons behind the group's mapping choices. Groups were asked to note the characteristics of areas in Moruya that make them appropriate for:

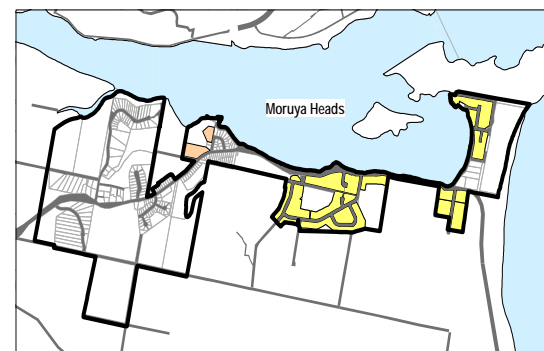
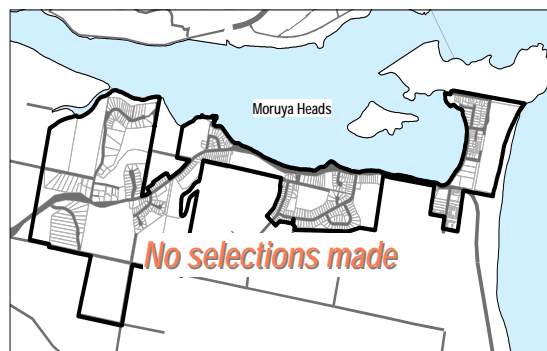
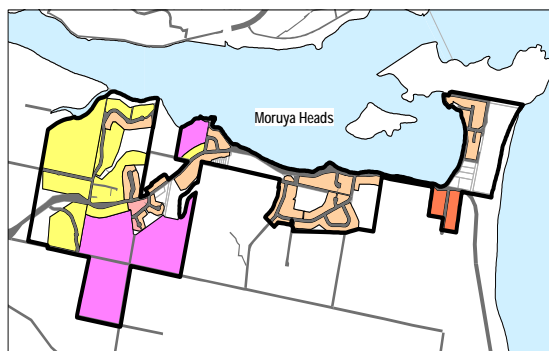
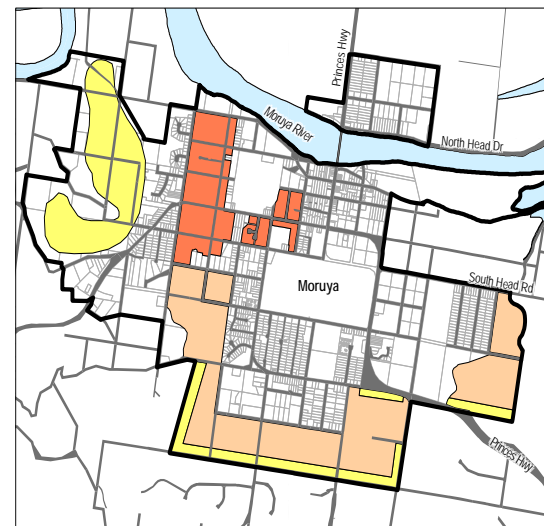
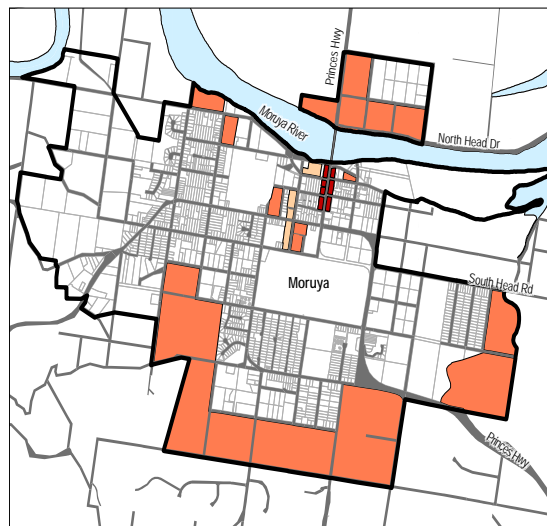
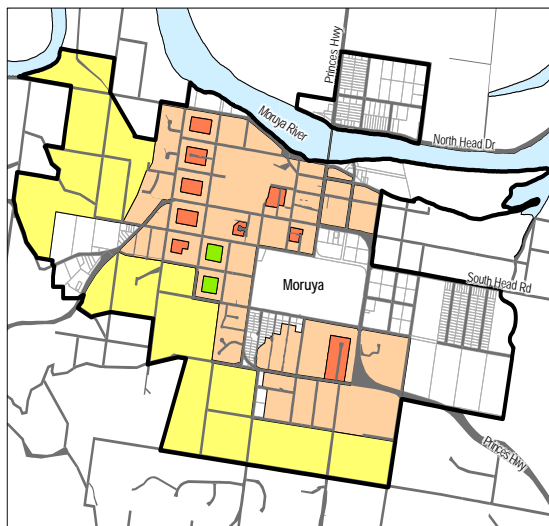
- a. more intense development
- b. same intensity of development
- c. less intense development

Notes from the three groups were transcribed verbatim from those taken by group scribes. In the last ten minutes of the exercise, each small group transferred what they had shown on their large map transparencies to an overhead sheet.

The last half-hour of the meeting was devoted to overlaying the overhead sheets from each small group to identify similarities and differences. This was the foundation for a very productive discussion of broad trends revealed by overlaying the overhead sheets. On the following page is a copy of the maps provided by the three small groups.



Community Reference Sub-Group's - Preferred Locations for Varying Intensity of Development



Group 1

Group 2

Group 3

Map Legend - Group 1

- Less development
- Same level of development
- More intense level of development - height preference 1 storey
- More intense level of development - height preference 2 storey
- Conflict within group, some members opted for less development and some for the same level of development

Map Legend - Group 2

- Same level of development
- More intense level of development
- No change to Town Centre density

Map Legend - Group 3

- Less development
- Same level of development
- More intense level of development

draft rural lands strategy & draft urban settlement strategy

Overview of Moruya Discussion Groups' Comments

fact sheet

Date and Time: Thursday, 1 December 2005, 6:00-8:00
 Location: RSL Hall
 Attendance: Fifty-six members of the public

What were some of the comments on growth rates?

- Yes #2 growth scenarios.
- Like urban footprint concept, concerned with spread of urban footprint (sprawl) into rural area.
- Council should support farming and rural aspect of community.
- Smaller acreage should be allowed.
- We should make this Shire less dependant on fossil fuels.
- Allow dwelling entitlements on non-productive rural lands.
- Right to farm provisions should be in the LEP to provide legislative protection.
- Low density is good.
- Rural residential lifestyle in demand.
- Support less sprawl more density
- Support smaller rural small holdings.
- Good quality farmland should be protected for farming.

What were some of the comments on infrastructure?

- There should be user pays for infrastructure.
- Concerned with water supply for population growth.
- Lack of transport is a problem.
- Need more services (eg. sporting complexes).
- Hospital -Don't support it being near the airport.

What were some of the comments on development controls?

- No high rise (eg. no more than three stories).
- High density areas should be architect designed so they complement each other.
- More density within CBD. But do not want to spoil the approaches.
- CBD – buildings to be limited in regards to bulk and scale.
- Retain the heritage façades and be careful of what is approved behind them.

What were some of the comments on settlement types / characteristics?

- Like Moruya how it is...need to protect rural qualities of the town.
- *Retain Moruya town as a rural town!*
- Concentrate houses within town footprint.
- Retain gardens around houses.
- Expand Moruya to the South. It is ideally located.

- Is the new high school planned? A new location could be south of the town. Use existing site as prime real estate – such as for aged housing.
- Support mixed/multi use instead of a single purpose building (eg. book shop/ newspaper shop) so structure doesn't need to change much if shop starts to fail.
- Architectural character – Moruya developed a unique style, we should maintain its individuality
- Utilise the river to enhance the natural townscape.
- Do not want to see a large commercial Stocklands style development in the town centre.

What were some of the comments on tourism?

- Support a tourism corridor from Broulee to airport.
- Caravan parks like Murramarang are good – providing motel/ cabins/ caravan/ tents/ eco-tourism facilities.
- Nothing from the Gold Coast *please!!!*
- Tourism corridor can extend the tourism season generating more secure employment.
- Accommodation – Camping at Congo ground tends to be overloaded.

What were some of the comments on conservation and asset protection zones?

- Concerned that Rural Fire Service have control of conditions on property, this takes control away from Council and can conflict with Council's objectives.
- May threaten local identity of town, due to additional clearing requirements.
- Have conditions for houses [to] be more fireproof so that vegetation can be closer to the dwelling.
- All for conservation incentives (ie protect the wetlands) and tradeable development rights.

Please Note

- *These comments have been transcribed from those noted by the small group facilitators.*
- *The comments are not direct quotes from participants, but rather points raised by individuals or multiple members of the small group.*
- *The views expressed in this fact sheet are those of participants at the meeting and are not the views of Council.*
- *To review a full copy of the public comments at the nine meetings visit Council's website at www.esc.nsw.gov.au by clicking on the Listening and Planning Together link, then on the fact sheets link and then on the public comments.*

Draft Moruya Open Day 22 January & 7 February 2007

Overview

There was significant public interest and involvement at the first Open Day to review the draft Moruya Structure Plan. Thirty-two people dropped by to view the displays of the structure plans, talk to Council representatives and pick-up copies of a wide range of fact sheets explaining what is proposed by the draft plan.

Public Response

The response to the Open Day, which was held at Apex Park, was very positive. A wide cross-section of Moruya residents and visitors participated in this event, which could be largely attributed to holding the open day at a location where it was convenient for people to stop by and ask questions without going out of their way. Approximately a third of the people who talked with Council Staff about the draft plan were under 18, a third were of working age and a third were retired. Some long term Aboriginal residents of Moruya and local teenagers talked with Council representatives about what the plan proposed and how they wanted Moruya to develop, bringing greater diversity to the opinions informing the plan. This is particularly encouraging as these groups tend not to participate in more formal means of engaging the public, such as attending public meetings.

The most common response was that the draft Moruya Plan was very good. The artist's impressions of how redevelopment in Moruya could look were well received. Many people felt that more commercial and tourist development around the river would be positive for the town. There was strong agreement that Moruya should not undergo major changes but that some growth was necessary to keep jobs and investment in Moruya. Several people raised concerns about affordable housing and providing public transportation.

General Comments

Thank you very much – well done! Moruya hasn't changed much in thirty years...you have to provide some growth.

Very good. I always think developing around the water makes sense.

We are happy to see no large subdivisions of project homes are proposed.

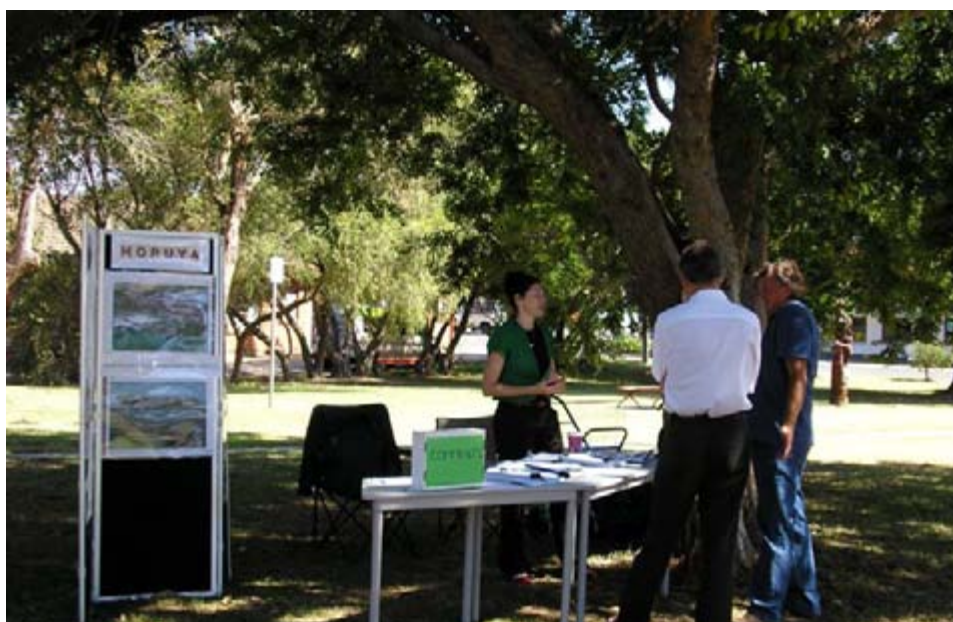
I like the artist's impressions! Build it [in reference to what is proposed with the artist's impressions]!

Not much has changed in 36 years...it is good no huge mall type developments are proposed

Youth Comments

I support the draft plan – Moruya needs more work and stuff for teens. – Shane aged 17 and Kelly aged 18

I support the draft plan – Moruya needs more work and more activities for children.
– Steven aged 18



Format

This structure plan is arranged into three (3) Sections:

I. Planning Framework

The Planning Framework Section of the Plan ("Section I") sets out broad factors impacting on the development potential for Moruya. Section I opens with a detailed description of the role of Moruya. Then the area's economy, land availability and environment are described.




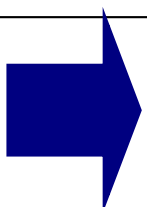
II. Urban Structure

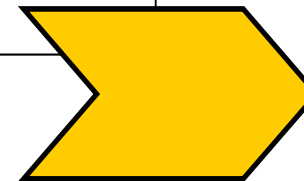
The Urban Structure Section of the Plan ("Section II") provides a detailed analysis of local factors impacting on the development potential for Moruya. Section II gives a detailed overview of local factors impacting on Moruya's development potential. It describes the local settings, topography, views and vistas, landmarks and available services. Section II contains numerous maps detailing the local conditions and sets the directions for the future structure.

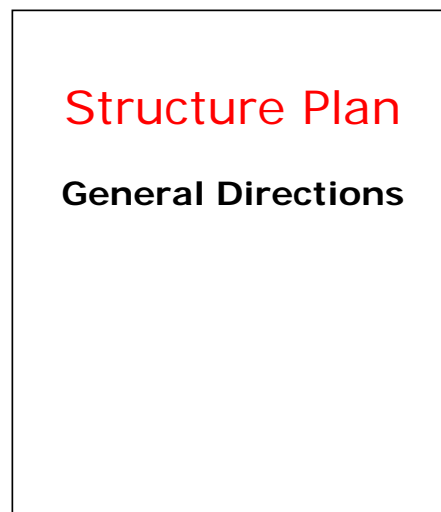
III. Future Structure

The Future Structure Section of the Plan ("Section III") sets out recommendations to be incorporated into the new Local Environmental Plan (LEP) for Eurobodalla and the Development Control Plan (DCP) for Moruya. Section III identifies appropriate locations for varying types and intensities of development. The recommendations contained within Section III are derived from the data, analysis and directions provided in the previous sections.

The future land use maps and accompanying text identify the preferred intensity of development (heights and densities) and the preferred types of development (residential, commercial, tourist etc) for Moruya and suitable locations for the new state standardised Local Environmental Plan (LEP) zones.

Moruya Structure Plan	Section I Planning Framework	Section II Urban Structure	Section III Future Structure
	The Role of the Centre 	<ul style="list-style-type: none"> • Settlement Boundary • Setbacks • Scenic Protection • Public Open Space & Recreation • Public Facilities • Access & Circulation 	A series of recommendations to inform the Local Environmental Plan (LEP) process.
	Economic Development 	<ul style="list-style-type: none"> • Retail Analysis • Main Street • Heritage Conservation • Employment Lands 	
	Land Availability 	<ul style="list-style-type: none"> • Residential Densities • Residential Character • Buildings Heights 	
	Environment 	<ul style="list-style-type: none"> • Environmental Protection • Riparian Management • Natural Hazards 	





Structure Plan

General Directions

Planning Instruments- what are the implementation mechanisms?

Local Environmental Plan (LEP)

- Statutory Controls/Zoning & Landuse
 - Implements the zones recommended in the Structure Plans.
 - Prescribes permissible uses in the zones.
 - Sets zone objectives.
 - Mandates development standards for height, floor space ratio, minimum subdivision lot sizes, rural subdivision.
 - Lists heritage items and nominates Heritage Conservation Areas.

Development Control Plans (DCPs)

- Development Controls(Council Policy)

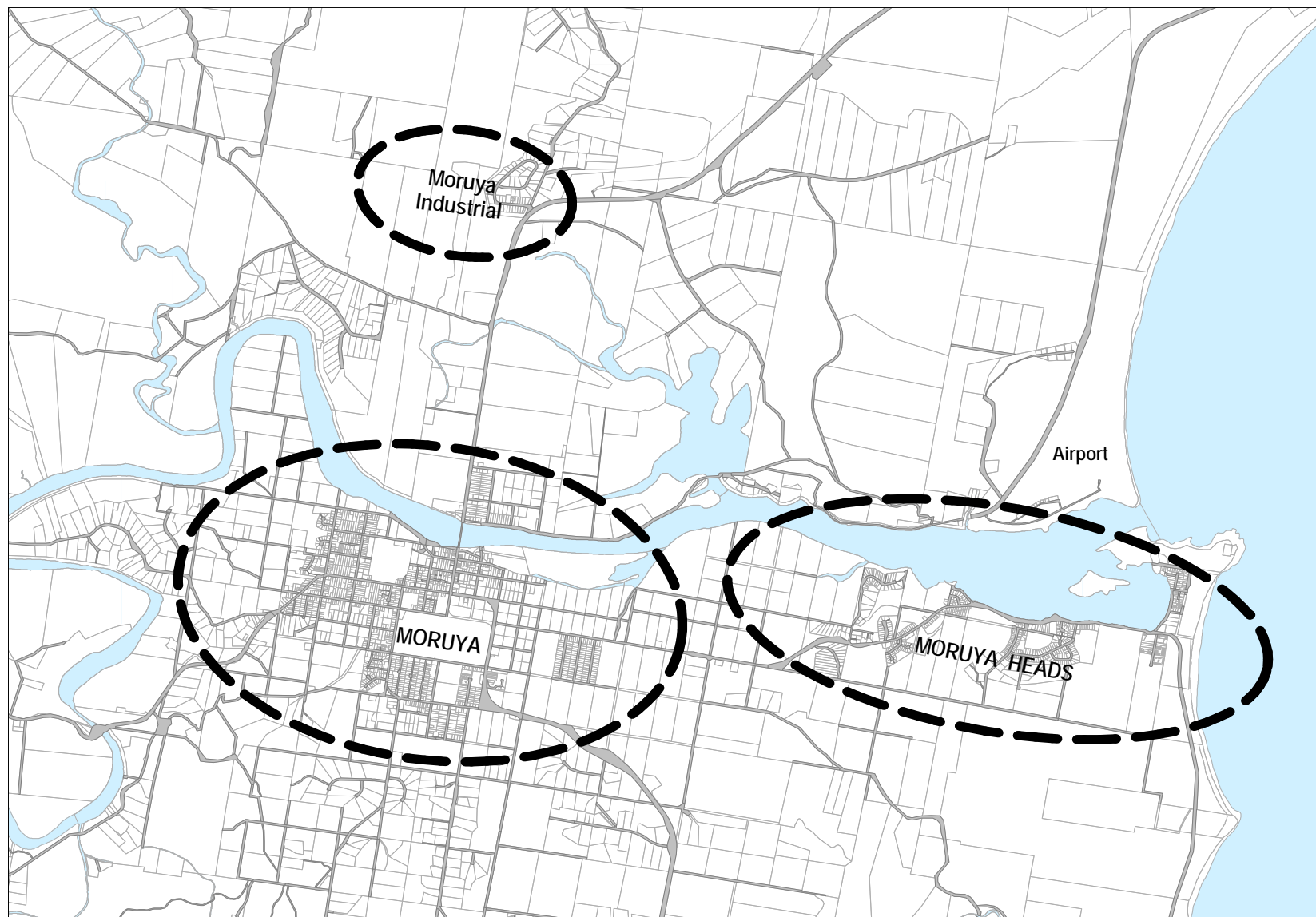
Sets out in policy those controls relating to development, for example:

- Buffers
- Landscaping requirements
- Setbacks
- View sharing
- Urban design considerations
- Subdivision layout/design
- Energy efficiency requirements

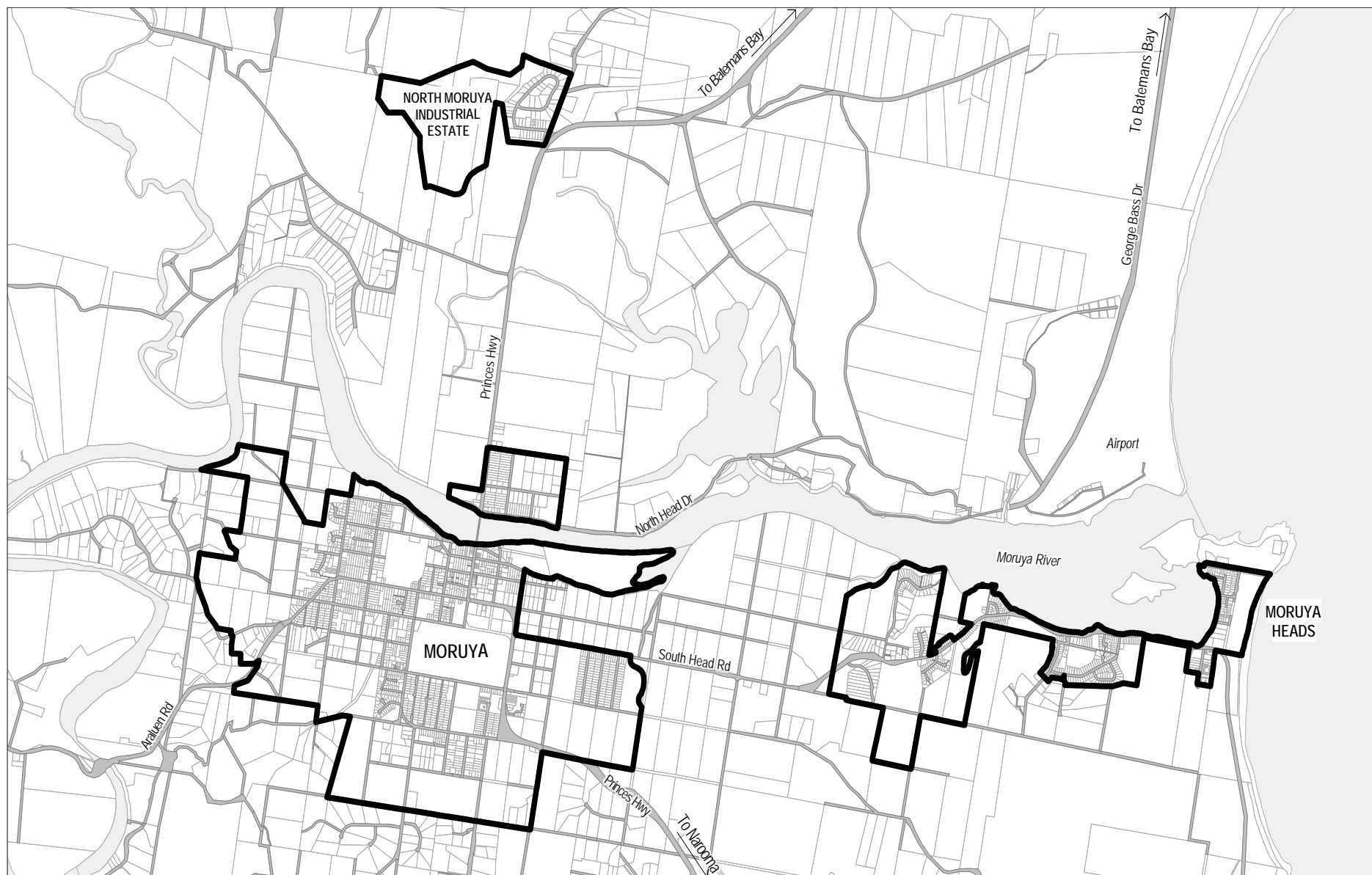
Place Statements

(Council Policy) proposed to be linked to the LEP by special clause.

- Neighbourhood character

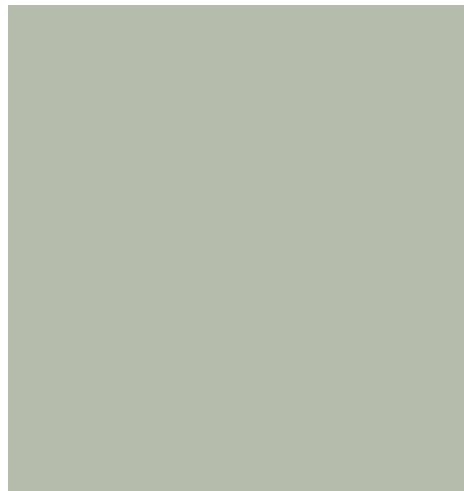


Location Plan



Locality Map

● Planning Framework



Section I provides the Planning Framework for the Moruya Structure Plan. The Planning Framework describes the context of Moruya in relation to Eurobodalla Shire, and in particular to the other major towns in the Shire – Batemans Bay and Narooma.

Section I provides a snapshot of current and projected information and statistical data relating to retail and commercial activity, population and housing demand, infrastructure, transport and the local ecology.

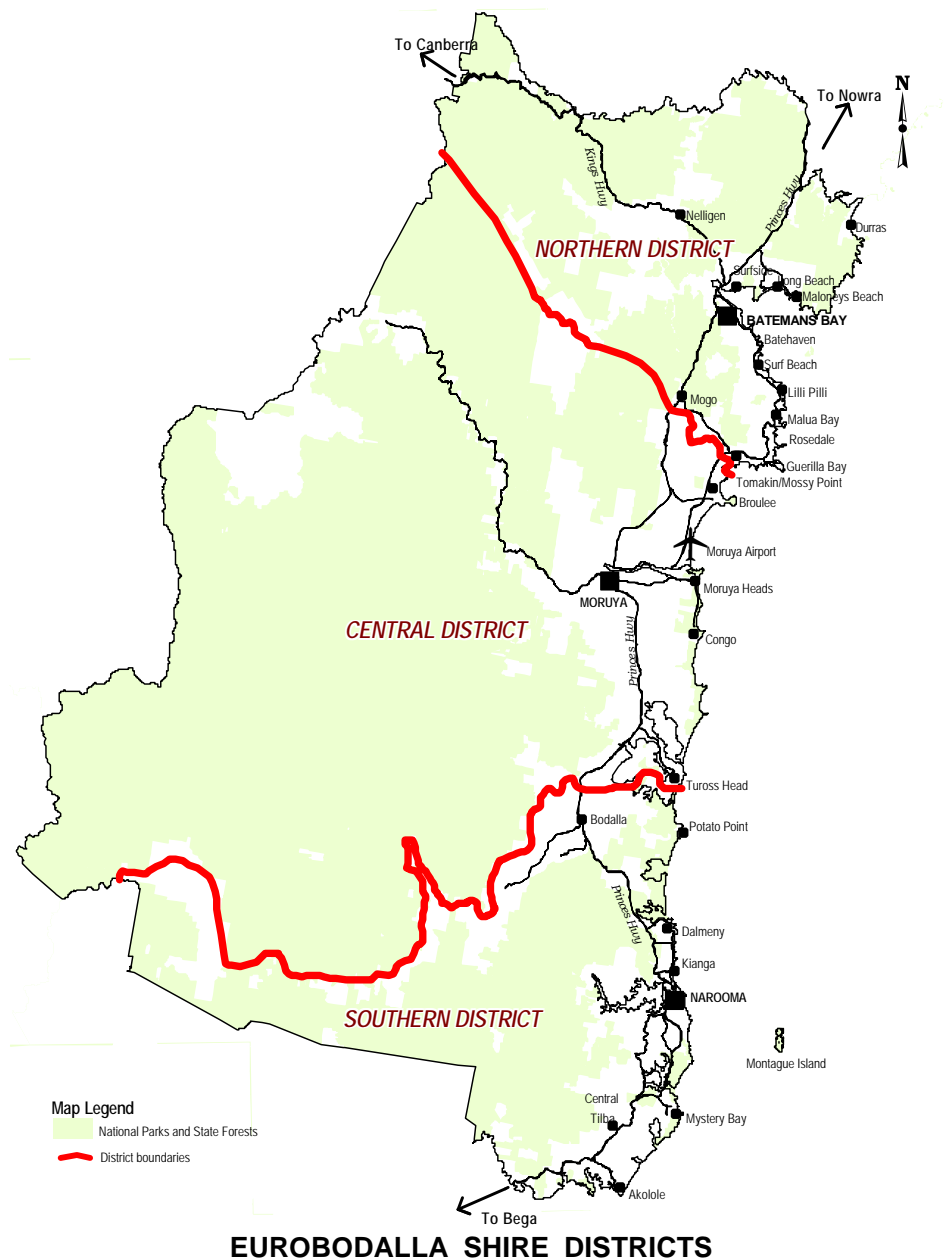
Section I forms the planning background for the Structure Plan.

Centres Policy

What is the Role of Moruya within Eurobodalla Shire?

Moruya has many important roles. It is the Shire’s central hub and administrative centre, housing the Council offices, hospital, TAFE college and airport. It is also the home of the Shire’s regional sporting fields (Gundry Oval) and racecourse. Moruya plays an important role as the retail and commercial hub for surrounding rural lands and hamlets, such as Congo. The servicing catchment of Moruya covers a significant area and people travel large distances to access its services.

Moruya is an inland coastal centre, typified by its location on a flat site with its centre backing onto the river. Many of Moruya’s heritage buildings remain intact and certain precincts retain their original buildings and parks. The street pattern is predominantly based on a large grid with wide streets. The main street (Vulcan Street) has a high level of pedestrian amenity and active street-level uses.



The Eurobodalla Settlement Strategy guides the location and development of commercial, civic and retail uses over the next 25 years. A clear hierarchy of settlements has been established in the Eurobodalla Settlement Strategy. This hierarchy recognises the differences between places and assists planning to provide complementary services.

What is Eurobodalla's Settlement Hierarchy?

The Eurobodalla Settlement Strategy categorises Eurobodalla's settlements by a common set of characteristics, types and sizes. The term "settlement" refers to the physical extent ('footprints') of Eurobodalla's urban lands. This creates a framework for sorting, comparing and analysing the Shire's settlements. The hierarchy helps in differentiating between settlements and setting a logical and fair pattern for growth. A settlement's position in the Settlement Hierarchy relates to its current population, physical size and level of servicing. The Settlement Hierarchy directs all new development to within the current physical boundaries of established settlements. This protects the green spaces between settlements and encourages the more efficient and sustainable use of resources.

The Settlement Hierarchy is based on the principle that large towns (such as Moruya) are ideal locations for major new commercial, retail and employment generating developments. These towns have an existing economic, service and social infrastructure to support increased activity whilst reducing the need to urbanise more remote and natural environments.

The following centres hierarchy applies to Eurobodalla.

Table: Eurobodalla Settlement Hierarchy

Coastal town	Coastal village	Coastal hamlet	Inland coastal centre
Batemans Bay	Surfside	South Durras	Moruya (town)
Narooma	Catalina	Maloneys Beach	Nelligen (village)
	Batehaven	Long Beach	Mogo (village)
	Sunshine Bay	North Batemans Bay	Bodalla (village)
	Denhams Beach	Rosedale	Central Tilba (hamlet)
	Surf Beach	Guerilla Bay	
	Lilli Pilli	Mossy Point	
	Malua Bay	Moruya Heads	
	Tomakin	Congo	
	Broulee	Potato Point	
	Tuross Head	Kianga	
	Dalmeny	Mystery Bay	
		Akolele	

Source: Eurobodalla Settlement Strategy 2006

According to the Settlement Hierarchy, Moruya is a inland Coastal Town and Moruya Heads is a Coastal Hamlet.

What is Eurobodalla’s Centres Hierarchy?

The Eurobodalla Settlement Strategy also categorises Eurobodalla’s centres by a common set of characteristics, types and sizes. The Eurobodalla Centres Hierarchy guides the location and development of commercial, civic and retail uses over the next 25 years. A settlement’s position in the Centres Hierarchy relates to its retail, commercial and service levels (i.e. public facilities). The Centres Hierarchy encourages existing centres to grow and diversify. No new centres are planned outside of settlement boundaries.

The Centres Hierarchy is based on the premise that the more compact the settlement, the better opportunities to establish, upgrade and enable access to transport services. Coordination of facilities and services will be appropriate to the settlement type.

According to the Settlement and Centres Hierarchy, Moruya is a Coastal Town and the District Centre for the Shire, housing the Council offices, TAFE, hospital and several schools.

New retail supply in Eurobodalla will be in keeping with the Eurobodalla’s Centres Hierarchy as shown below:

Table: Eurobodalla Centres Hierarchy.

Table 1.2 Retail Supply as per the Centres Hierarchy

Centres hierarchy	Floor area (sqm)	Major tenants
Sub-regional town centre and Main Street (Batemans Bay)	40,000-80,000	Dept. Store, Disc. Dept. Store, 2 Large Supermarkets
Administrative town centre and Main Street (Moruya)	20,000-40,000	2 Large Supermarkets
Large neighbourhood Centre and Main Street (Narooma)	10,000-20,000	2 Large Supermarkets
Bulky goods centre (i.e. potentially Surf Beach)	> 10,000	Large hardware and furniture stores
Village Main Street (i.e. Batehaven)	< 3,000	1 Small Supermarket
Specialist tourist centre, Main Street (i.e. Mogo)	Any size	
Hamlet Centre Moruya Heads	1 – 2 shops General Store	

This Structure plan reinforces the current hierarchy of commercial centres and neighbourhood business. It is important that the core retail functions of Eurobodalla's major towns (Batemans Bay, Moruya and Narooma) are strengthened so that the range of goods and services can be expanded in a commercially-viable environment.

One of the main concerns expressed by the Moruya Community Reference Group was the potential loss of central services. They were united in their support for keeping the hospital and government offices in Moruya.

The Reference Group was concerned that new development proposed for Broulee was a threat to Moruya's "Centre" status and undermined Council's Centres Hierarchy. The group expressed a strong desire to see Moruya's District centre role maintained and enhanced.

In order to ensure that Moruya continues to prosper as a successful centre, it is important to plan strategically. This will allow Moruya to accommodate growth, change and continued investment in the town.

Section II of this Structure Plan provides the detailed design directions to guide new development and ensure that the District Centre role of Moruya remains strong into the future.

Economy

Employment

Eurobodalla's economy is facing many challenges. The Shire's unemployment rate of approximately 8% is higher than the state average of 5.5%. *Source: Small Area Labour Market figures (Sept Qrt 2003).* Youth unemployment is very high in Eurobodalla (23.1%) compared to the Australian Youth unemployment rate of (13.8%) (ABS 2005). There are several reasons behind these unemployment figures. One of the main causes of this high unemployment rate is that Eurobodalla's population growth has exceeded its jobs growth. Most of the employment in Eurobodalla is in the service sector, such as in retail and tourism, resulting in a limited range of available jobs. Furthermore, many of these jobs are seasonal, which can leave people unemployed, or under-employed for most of the year. Limited job and educational opportunities for youth and casualisation of the workforce contribute to the low number of people in their twenties and early thirties in Eurobodalla. There is a need to create new jobs to reduce the unemployment level, stimulate the local economy and retain the 18-30 year age group.

Economic Development

To create employment, Council is facilitating the expansion of the North Moruya industrial estate. It is proposed to expand the area zoned for industrial use over land immediately adjoining the west of the existing estate, more than doubling its size. Council will initiate development by constructing a resource recovery

park – to stimulate the co-location of other businesses that can turn recyclable materials into a resource.

Council is also facilitating the redevelopment of the Moruya Airport. The Moruya Airport Masterplan aims at developing aviation-related business and jobs, and improving tourism infrastructure through construction of a new regional terminal and secure parking complex.

Eurobodalla Shire Council is also actively working to bring forward the delivery of a single regional health facility with associated local rehabilitation services and local community health services.

What is Council doing to encourage business development?

Council, through its Business Development Board, has for several years been focussing on underpinning tourism with a more broadly based economy less subject to seasonal fluctuations and therefore more able to sustain full time jobs. Some of our business development initiatives include -

- helping to develop the North Moruya Business Park (with the objective of stimulating a centralised light industry/service business park);
- Council developed the Southern Phone Company - with the express intention to bring about cheaper regional telecommunications costs for business and residents. The SPC now employs around 30 staff in Moruya and has led the way in bring down phone and internet costs;
- developing the Moruya Airport (with the intention of creating an aviation related business precinct);
- development of a new bulky goods retail and light industry/service business

park on Council's land at Surf Beach. Linked to the soon to commence Spine Road;

- encouraging the Aged Care industry in the region;
- encouraging government departments to open offices in the shire;
- working on new ways to extend use of waste water from sewer system to stimulate new agri-business, not just local golf courses;
- working with local Job Network providers and the Dept of Employment and Workplace Relations on a long term labour market planning project, with the objective of ensuring the business community plans for a changing workforce and business profile ie. the ageing population;
- providing support to potential new business investors, assisting with basic business planning, and assisting people tap into government business funding opportunities;
- encourage Film Illawarra and Capital Region Film Unit to bring film and TV shots to the Eurobodalla;
- maintained pressure on the Dept of Lands to develop the Batemans Bay Marina.
- Developed a "Regional Boating Strategy", that (subject to further funding) aims to stimulate boating related business development in the shire.

Retail/Commercial

Moruya has a reasonably balanced distribution of retail services, due mainly to its historic role as the main administrative centre for the larger economic

area. Previous long-term expansion potential has not been taken up, which has provided Moruya with a more relaxed and open rural environs. Environmental constraints, such as flooding of the Moruya River have also precluded development on some land on the fringe of the town centre for retail use.

Council recently commissioned a retail study to look at the commercial requirements for the major centres in the Shire. The study has found that, in relation to Moruya, there is adequate supply of commercial zoned land.

In Moruya, although a significant area of the present commercial zone is taken up by special uses (e.g. churches, schools, etc.), there remains undeveloped and underdeveloped commercial lands towards the east of the town centre. In consideration of the present active street retail core and Council's commitment to preserve the historic built environment of the town centre, integration of large-plate development, although desirable to support and diversify the local market, will require appropriate locations that do not conflict with the traditional built-form and 'local retail experience'.

The structure plan and Shire-wide strategies support accessible distribution of retail and commercial floor space across the Shire. These documents identify the necessary steps that will need to be taken to improve the viability of traditional centres, such as Moruya.

Tourism

January is the busiest month for tourism in Eurobodalla. Tourists visit all the year round, especially from the October long weekend through to Easter. Around 613,000 people visit Eurobodalla each year and the visitor expenditure totals \$250 million.

It is reasonable to assume that 30% of the total visitors to the Shire visit the Moruya area. On that assumption, 200,000 people visit here annually. Of these visitors, 59% travelled for the purpose of holiday or leisure and 32% travelled to visit friends or relatives.

While regional tourism is predominantly road-based, Moruya has seen an upturn in tourist numbers as a result of the services offered by Regional Express Airlines. Regular air services, and appropriate scheduling have realised additional business and tourist demand for air travel. Tourist interest will be increased with additional facilities, which are planned as part of the overall airport development.

Council will continue to market the Shire as the “Nature Coast” with an emphasis on reducing the seasonality of the tourism industry. The conferences and events sector of this industry is particularly targeted for the flow-on financial effects and the opportunities for repeat visitation. Council is committed to sustaining the tourism industry by actively promoting and marketing the region.

The property market currently favours residential development over tourism accommodation or commercial development. This is leading to the conversion of large tourism establishments, such as motels and caravan parks, to permanent residential. This loss in tourism accommodation coincides with increasing visitor numbers to the Shire.

Existing tourist accommodation in the Moruya area (e.g. motels, hotels, camping/caravan parks, self-contained units) includes the following:

- two motels;
- two caravan park/resorts;

- numerous bed-and-breakfast establishments; and
- private holiday homes.

Tourist accommodation in the Moruya locality is limited both in scale and quality.

This plan supports the development of tourism facilities in identified locations where demand may be satisfied and environmental attributes are preserved.

Transport

The major means of transport within the Shire is by automobiles. Travel within Moruya is heavily car-dependant. Bus services, provided by the private sector, are somewhat limited and restricted to the following services within Moruya;

- Moruya to Narooma /Batemans Bay: typically 3 services weekdays, 2 services weekend days.
- Moruya to Canberra daily (Murrays).
- Moruya to Sydney (Sunday-Friday (Priors).
- Moruya to Melbourne (V-Line).

Regional Express (REX) Airlines currently operates 3 services per day from Moruya Airport. REX offers daily return flights from Sydney to Moruya and daily flights to Melbourne via Merimbula.

Moruya Airport is a key community-owned asset that provides an important transport option for business, tourism and private air travel. The airport also provides essential access for government, medical and emergency services.

The Moruya Airport Master Plan (2006) sets out a proposed structure for the development of the airport for the medium to long term.

It is the aim of this Structure plan to increase transport options, moderate car reliance and improve opportunities to access services by walking, cycling and public transport. It aims to reduce travel demand, including the number of trips generated by development and the distance travelled by cars.

Infrastructure & Servicing

The Eurobodalla Integrated Water Cycle Management Strategy (IWCMS), adopted by Council in 2003, addresses the requirements for water supply, sewerage and stormwater management in the Shire to meet the needs of the growing population over the next 30 years.

The IWCMS was developed to not only address the supply and demand issues, but also to allow for increased environmental protection of the shire's waterways. Increased environmental flows are allowed for "water-harvesting rivers" providing for an increased rate of extraction during high flow periods. A \$32M project to install a new pipeline and pumping system to supply water from the Moruya River directly to the existing Deep Creek storage dam in the north of the Shire is due to be constructed in 2007.

Provision of enhanced water treatment facilities to address water quality issues inherent in this approach are a part of the IWCMS.

Drought security is being addressed by the provision for a second storage dam in the longer term and for the use of existing groundwater storages in the south of the Shire.

Demand management is a key component of the IWCMS. As well as adopting

permanent water conservation measures to limit the water wastage, other measures to address the growing demands for water supply include the adoption of Water Sensitive Urban Design (WSUD) principles for the design of all new developments. A key component of this is the requirement for rainwater tanks to be installed on all new developments. Rebates are offered to encourage installation of rainwater tanks and waterconserving appliances in existing dwellings. This initiative not only reduces the overall demand on the water supply system, but also reduces the impact of run off from urban areas on local creeks and waterways. The stormwater control measures of WSUD also provides improvements to the aquatic environment.

Provision of enhanced sewerage systems for the existing townships is also a key component of the strategy, together with the provision of sewerage services to the Shire's villages as part of the 30-year plan. This includes maximising the reuse of treated effluent to offset the current demand for potable water used on playing fields, golf courses, etc, and also to provide significant quantities for irrigation of agricultural areas. This initiative is being developed for the Moruya area in particular, where there are significant opportunities to stimulate the local agricultural economy.

Complementing the IWCMS is the ***Eurobodalla Development Servicing Plan*** (DSP), adopted by Council in 2005. This plan provides for the delivery of the local water supply and sewerage infrastructure required to support the release of land for housing developments. Five-year Capital Works programs are included the plan to target the most economical delivery of these services. The five-year plans provide for partial funding of these works from developer contributions and schedules may be revised to reflect developer contributions.

In the case of Moruya, water supply and sewerage infrastructure to meet the

demands from the development area on the south-west limits of the existing urban development are programmed in the five-year period. The analysis of the capacity of the existing infrastructure indicates that there is potential to cater for significant infill development within the existing urban boundaries with minor extensions to the existing pipework.

What is happening in Moruya?

A detailed analysis of the sewerage system to cater for servicing the anticipated infill development was carried out in 2004.

The water supply capacity for Moruya and the Shire will be assured by the \$32M project to install a new pipeline and pumping system to supply water from the Moruya River directly to the existing Deep Creek storage dam. This project is due to be constructed in 2007. There will also be upgrades to the local distribution mains where required, to cater for development in existing areas as well as the urban expansion zones.

As part of the IWCM initiative, Council also applies IWCM principles, implements policies for water-saving measures in all new developments, provides subsidies and incentives for water-saving, mandates for collection, treats and reuses stormwater where possible, imposes development controls that encourage deep soil zones on private lots, and promotes on-site stormwater detention and disposal systems and water Sensitive Urban Design.

Population & Land Availability

Population Growth and Land Availability

The information below provides a snapshot of the population, dwelling characteristics and driving forces behind settlement pressures in the Moruya district. This demographic overview has been compiled from data released by the ABS obtained from the 2001 *Census on Population and Housing* and Council's Land Monitor. Tables containing 2001 Census data will be updated as 2006 Census data becomes available.

This Plan acknowledges that housing demand may be affected in the future by the expansion of employment-generating developments such as the industrial estate and by the siting of major infrastructure or institutional items in the Moruya area. The plan will be reviewed every 5 years to take account of these events should they occur.

Coastal towns are the largest settlement type within Eurobodalla, with the capacity to accommodate substantial growth over the next 25-year period. The supply of vacant land and land that may be suitable for redevelopment varies across settlements, with Moruya having the bulk of vacant land.

Moruya will accommodate a large proportion of the Shire's future population growth, thereby enhancing its role as the Administrative Centre of the Shire.

The population of the Moruya District will increase, as the town provides easy access to jobs, services, employment and a wide range of housing choices, as well as access to the ocean, rivers, beaches and other natural areas.

Land to the west of the North Moruya Industrial Estate is currently being investigated for its potential to expand the industrial zone. This land is central to the Shire and has recently been serviced with a reticulated sewerage system.

Central District's population

1. Population change (Table 1 - 2001 population, and 2006 and 2031 estimates of population)

Permanent Population ABS 2001	
Broulee	1173
Moruya Heads, Congo	1321
Moruya	2800
Mossy Point	463
Tuross Head	2107
Bodalla	760
Total:	8624
Estimated population 2006	9415
Estimated 2031 population (based on annual growth estimates of DoP)	13145

Tables containing ABS Census data will be updated as 2006 Census data becomes available.

AGE DISTRIBUTION

Table 2: Age Distribution, 2001

	Age Group						Total
	0-4	5-14	15-24	25-54	55-64	65+	
% of Central District	5.5	16.1	8.7	37.3	12.6	19.9	100.0

Ageing of the population is already evident within the Shire, with growth of 82.2% in those of 75 and over during 1991-2001 period and 69% between 1986 and 1991. This is the largest growth rate of any age group in the population.

The increasing proportion of aged persons in Eurobodalla's population is consistent with similar trends throughout Australia.

HOUSEHOLD TYPE

Table 3. Number of Persons Usually Resident, 2001

No. Persons	Households	Percent
One	295	28.9%
Two	370	36.3%
Three	149	14.6%
Four	122	12.0%
Five	51	5.0%
Six or more	33	3.2%
Total	1,020	100.0%

Source: Australia Bureau of Statistics, 2001 Population Census

The majority of Moruya households comprise of single persons or couples. Compared to 1991, there was a 32% growth in the number of separate houses to 2001, along with a 50% decline in number of flats, units and apartments.

Table 4 Dwelling Type, 2001

	Persons	%	Dwellings	%
Separate house	2,316	85.4	912	74.3%
Semi-detached, row or terrace house, townhouse etc. with:				
1 storey	48	1.8%	23	1.9%
2 or more storeys	3	0.1%	3	0.2%
Total Semi, etc	51	1.9%	26	2.1%
Flat, unit or apartment:				
In a 1, or 2 storey block	166	6.1%	110	9.0%
Attached to a house	3	0.1%	0	0.0%
Total Flat, Unit or Apartment	169	6.2%	110	9.0%
Other Dwelling:				
Caravan, cabin, houseboat	57	2.1%	36	2.9%
House or flat attached to a shop, office, etc.	3	0.1%	3	0.2%
Total Other dwelling	60	2.2%	39	3.2%
Not stated	115	4.2%	51	4.2%
Unoccupied private dwellings	-	-	89	-
Total	2,711	100.0%	1,227	100.0%

Source: Australia Bureau of Statistics, 2001 Population Census
Note: This table may be affected by random adjustment to protect privacy / confidentiality.

Some 85% of the population live in separate houses. While 74% of all dwellings are detached separate houses, a further 2% are row houses or similar, 9% are flats or similar and 3% 'other dwellings', including caravans.

It is clear that a lack of housing diversity exists in the Moruya area, as evidenced by the high proportion of separate detached housing stock.

There is a need to increase the number of dual occupancies and flats to meet needs of increasing number of small or single person households.

Dwelling and Density Estimates

The settlements of Moruya, Moruya Heads, Mossy Point, Broulee, Congo, Tuross Head and Bodalla are considered for the purposes of estimating land supply requirements for the next 25 years for the Central District of Eurobodalla Shire. The population of these settlements combined was 8,624 persons at the time of the 2001 Census of Population and Housing. Based on NSW Department of Planning annual growth projections, these settlements have grown to 9,415 persons in 2006 and are expected to grow to 13,145 persons in total by 2031. This is an increase of 3,730 new persons over the 25-year period of 2006 to 2031.

Projected Population

Population projections - central district

Year	Growth rate (p.a.)	Persons
2006	1.77	9415
2011	1.52	10152
2016	1.45	10910
2021	1.37	11678
2026	1.26	12433
2031	1.12	13145

Source: Dept of Planning

New dwelling requirements

Two further assumptions are made so that dwelling requirements can be estimated. The first relates to occupancy rates. The numbers of persons per dwelling has been falling gradually over recent census periods. In 1996, occupancy rates in Eurobodalla local government area were around 2.5 persons per dwelling. This fell to 2.3 persons per dwelling in 2001. It is assumed that occupancy rates will continue to fall as the proportion of the population aged 55 years and over continues to expand. It is assumed that by 2031 Eurobodalla will have an average occupancy rate of 2 persons per dwelling. Similarly, the proportion of non-resident-owned dwellings has been falling. In 1996, approximately 47% of dwellings were owned by persons living outside the Shire, falling to 39% in 2001. It is assumed that this trend will continue as people retire to their holiday homes, and that by 2031 around 20% will be owned by non-residents. Some of this housing stock is used by the private long-term rental market; however, we are erring on the conservative side by assuming that the entire 20% will be used as holiday homes.

The majority of Moruya's growth will be low density. This Plan assumes that all of the urban expansion land that is capable of being developed will be developed. Given the projected increase of 3,730 new persons in the Central District over the next 25 years and allowing for 2 persons per dwelling and 20% dwellings for holiday homes, 2,335 new dwellings are required to meet projected demand by 2031.

Dwelling densities

All of the settlements in the Central District are characterised by low-density residential areas. The highest proportions of dual occupancy, villas and flats are in Broulee (12%), Moruya Heads (15%) and Moruya (7%).

Table 2 – existing split across dwelling types & numbers of vacant lots (subdivided and unsubdivided)

Settlement	% houses	% dual occs	% medium density	No of vacant lots
Broulee	88.4	7.2	4.4	469
Moruya Heads	84.9	0.4	14.7	351
Congo	100	0	0	24
Moruya	93.0	1.2	5.8	1,228
Mossy Point	97.7	2.3	0	22
Tuross Head	97.8	1.1	1.1	314
Bodalla	100.0	0.0	0.0	76
District average	94.5	1.7	3.7	2,484

Given the existing low-density nature of Congo, Mossy Point, Tuross Head and Bodalla, it is considered that no further dwelling density increases should occur in these settlements. The character of these settlements should be retained by allowing only single dwellings with, for example, dual-occupancy development on 10% of sites that are occupied. Although there is a large proportion of medium-density development at Moruya Heads, there are limited opportunities to further increase densities in this settlement if the existing character is to be maintained. Hence, additional dual occupancy on 10% of occupied lots is assumed, plus medium-density on vacant 2t land.

It is considered appropriate to accommodate higher dwelling densities in the settlements of Broulee and Moruya. Both settlements are relatively flat in topography and, with high quality subdivision and building design, can accommodate medium-density development in a way that would not detract from character. It is assumed that, of all new dwellings on vacant land, 85% will be single dwellings, 10% will be dual-occupancy and 5% will be medium-

density. In addition, 10% of existing occupied lots can accommodate dual-occupancy, and existing 2t Residential – Tourism zoned land will be developed to capacity at 3 dwellings per lot. This will mean that the proportion of dual-occupancy development will increase, although new medium-density will remain at current proportions.

The table below gives estimates of potential new dwellings based on these density assumptions, leading to a surplus of dwelling potential over the 25-year period.

Table 3 – new dwellings for Broulee and Moruya at density targets

Broulee (469 lots)	% split	No of dwgs
Houses	85	399
Dual occupancies	10	94
Other medium density	5	70
Sub-Total Broulee	100%	563
Moruya (1228 lots)	% split	No of dwgs
Houses	85	1044
Dual occupancies	10	246
Other medium density	5	184
Sub-Total Moruya	100%	1474

Table 4 – total new dwellings

Locality	Potential dwellings
Congo, Mossy Point, Tuross Head & Bodalla	787
Broulee and Moruya	2037
Potential dual occupancies	427
Potential 2t medium density dwgs	68
Total new dwelling capacity	3319
New dwellings required	2335
Surplus	984

Notes:

- (a) This calculation is based on the capacity to develop low and medium density dwellings on vacant existing urban zoned and urban expansion zone land. It does not include estimates of increased densities over occupied land, i.e. estimates exclude redevelopment opportunities over land that is zoned for medium density.
- (b) Estimates of lot yields over unsubdivided land are based on applying a lot size that is the average for the surrounding locality, deducting 25% of the land for services and deducting all environmentally constrained or sensitive land.
- (c) The calculations do not include rural residential land immediately adjoining Moruya that is being investigated for urban residential use.
- (d) The calculations include a lot yield of 140 lots over urban expansion zoned land at Moruya Heads which was identified as 'sensitive urban land' and reviewed for its suitability for development by the South Coast Independent Review Panel.

- (e) *Potential 2t dwellings in Table 4 includes latent medium density dwellings that are capable of being constructed on lots zoned 2t with higher development potential, i.e. where the lot is occupied by a single dwelling only. It is assumed that there are 3 dwellings per medium density development, i.e. 2 additional dwellings.*

Affordable Housing

Increasing housing prices create affordability challenges for renters as well as those who would like to buy a home in Moruya. Insufficient affordable housing in Eurobodalla is a result of the high cost, strong demand and limited supply of homes on the coast, lower wages available in rural areas and the large percentage of Eurobodalla residents on pensions or other forms of income assistance.

What is happening with affordable housing?

Traditionally, the NSW government has addressed affordable housing by building and managing affordable homes and units and by providing subsidies for living expenses. Eurobodalla Shire's involvement in affordable housing has focussed on providing transitional and permanent housing for those with physical and mental challenges that need assistance.

The State governments are scaling back their involvement with affordable housing, which places greater expectations on local governments to take a larger role in ensuring housing is available to cater for all socio-economic groups. One of the key objectives of the Eurobodalla Settlement Strategy and this Plan is to contain settlements within their defined footprints and provide housing choice in keeping with needs of residents. Key strategic approaches to

affordable housing include the following:

- Increase housing densities to reduce pressure to develop greenfields lands. Increasing densities in appropriate locations helps decrease the cost of servicing, which is reflected in Council's rates and household transportation costs. Areas more appropriate for higher densities include those areas where shops and other services are accessible by foot and where such homes would not be out of character with the community.
- Provide necessary housing choice so there is a range of housing types and corresponding costs. Currently, Eurobodalla's housing supply is made up primarily of detached single-family homes. As our population ages and the number of single-person households increases, the need for greater housing choice also increases. Providing smaller homes, such as apartments and 'granny flats' in centrally-located areas, without views and other amenities that contribute to higher housing prices, will help ensure long-term affordability.

Integration through design to ensure affordable housing is attractive and blends in with the communities in which it is built. Design issues include the style of the buildings, quality of materials, heights, lot coverage and landscaping.

Ageing-in-place

As the population of Moruya ages, there is a need for housing to meet the changing needs of its residents. The term 'ageing-in-place' refers to actions communities and individuals can take to ensure that, as people age, they can continue to live in the areas they want to. Community actions that support ageing-in-place relate to planning directions and controls that support easy maintenance homes for seniors that are located close to shops and other

services accessed on a regular basis. Individual actions that support ageing-in-place include buying properties close to services which are easily accessible to those with mobility challenges and have features to accommodate their specific needs, such as wide doors and safety rails.

A conference was held in Batemans Bay in November 2005 titled Local Government Planning for Ageing Population. Several resolutions were made at the conference that respond to the ageing of our population. These included celebrating and recognising the contribution and importance of elderly members of the community and ensure their wellbeing, plan and integrate accommodation and facilities for older people in settlements via new zones in the LEP, and design public facilities and dwellings to be accessible and adaptable.

As with affordable housing, insufficient ageing-in-place opportunities are available in Moruya.

Council has engaged a housing and demographic expert to provide a comprehensive report on Eurobodalla's housing needs. This report will be considered background research to assist structure planning exercises for major towns, to inform a new Local Environmental Plan for the Eurobodalla local government area and to assist a review of the Eurobodalla Development Contributions Plan. The report will address preferred location, design, density and value of new housing in the context of Eurobodalla's high growth and aging population. It is anticipated that the report should be available for public review towards the end of 2007.

Environmental Management

The town of Moruya is surrounded by an area of high environmental values:

- a stunning coastline, featuring unspoilt beaches and dune systems,
- a beautiful estuary and river system;
- protected wetlands; and
- significant vegetation ecosystems.

The main environmental focal point of the area is the Moruya/Deua River. This estuary has a large catchment compared with many other NSW South Coast Estuaries (approx. 1,500km²). The catchment is 10% flat coastal plain, 30% undulating and hilly and 60% rugged mountains (Young & Thoms, 2000). Rural land exists around the estuary along the river valley. It is classified as prime agricultural land in close proximity to town.

The environmental, recreational and economic values of the Moruya River are dependent on good water quality. Continued use of the river for recreational fishing, boating and swimming is dependent on maintenance of this water quality. The river is also a source of the Shire's water supply.

The Moruya River Estuary supports a great diversity of fish species, and is an important fish nursery with significant aquatic habitats including mangroves.

The tidal mudflats and sandflats provide valuable habitat for wading and sea birds. The town and estuary are surrounded by considerable native vegetation ecosystems including spotted gum, stringybark, woollybutt and coastal swamp oak forests. Cleared rural lands occur on the more fertile river plains, with the steeper areas remaining predominantly forested. Urban settlement has highly modified many local waterways in the urban areas, resulting in remnant urban vegetation along waterways being very limited and degraded. There are some areas of remnant riparian vegetation in the urban periphery that warrant protection for their habitat corridor and aesthetic amenity values.

Ecologically Important Areas of the Moruya Estuary

A number of areas in the Moruya River estuary have been recognised in the Flora & Fauna study of the Moruya River for their ecological importance. Nationally, the Moruya River Estuary Saltmarshes – NSW119 have been listed as being of national importance. This listing covers a number of areas within the Moruya estuary and includes Malabar Lagoon, The Anchorage, Ryans Creek, Gilmores Creek and the wetlands south of the breakwall at the river mouth.

New South Wales legislation also covers some areas of the estuary. Under State Environmental Planning Policy 14, (SEPP 14) coastal wetlands have been designated in a number of local governmental areas. The aim is to “ensure that the coastal wetlands are preserved and protected in the environmental and economic interests of the state” (Coastal Council of NSW, 1985).

A number of SEPP 14 wetlands occur in the Moruya estuary. They are:

- SEPP 14 - Coastal Wetlands Map No.5 171, 172, 173, 174 and 176, which occur within the wetlands south of the breakwall at the mouth of the river.

- SEPP 14 - Coastal Wetlands Map No. 175 – Gilmores Creek.
- SEPP 14 - Coastal Wetlands Map No. 177 – The Anchorage.
- SEPP 14 - Coastal Wetlands Map No. 178 – Ryans Creek.
- SEPP 14 - Coastal Wetlands Map No. 179, 180 and 181 which occur in Malabar Lagoon.
- SEPP 14 - Coastal Wetlands Map No. 178a – Mogendoura Creek.

Mangroves are protected under section 205 of the NSW Fisheries Management Act, 1994 Regulation 227A.

Ecologically Important areas of the Moruya Environs

Seven (7) ecological communities in the study area are listed in part 3 of schedule 1 of the ***NSW Threatened Species Conservation Act***, 1995 as Endangered Ecological Communities. They are:

- Coastal Saltmarsh in the NSW North Coast, Sydney Basin and South-East Corner bioregions (Forest Ecosystem 186 – mudflats/saltmarshes).
- Swamp Oak Floodplain Forest of the NSW North Coast, Sydney Basin and South-east Corner bioregions (Forest Ecosystem 25 – South Coast Swamp Forest Complex, Part 27- Ecotonal Swamp forest and 24- coastal wet heath swamp forest).
- Bega dry grass forest in the South East Corner bioregion (Forest Ecosystem 171 – Coastal Shrub/Grass Forest – E. tereticornis.)
- River Flat Eucalypt Forest on coastal floodplains of the NSW North coast, Sydney Basin and South east corner Bioregion(forest ecosystem 48Coastal

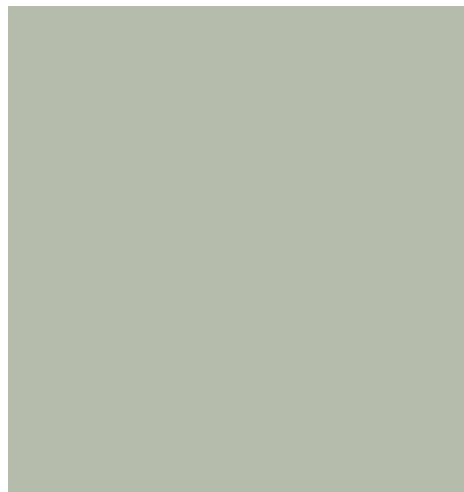
lowlands riparian herb/grass forest, forest ecosystem 49 southern hinterland shrub/herb/grass riparian forest.)

- Brogo wet vine forest in the southeast corner Bioregion.
- Freshwater wetlands on coastal floodplains, 189 coastal alluvial valley floor wetlands.
- The Bangalay sand forest of the Sydney Basin and South East Corner bioregion (Forest Ecosystem 28 – Coastal Sands Shrub/Fern Forest – E. botryoides/Banksia serrata.) .

The township of Moruya is set on the extensive Moruya River Floodplain and has expanded outward over the years into the surrounding undulating granite country. The characteristic rolling hills of the district overlie the ancient granites of the Moruya batholith (410–390 million years old), a famous geomorphic formation. Ordovician sediments and other low-grade metamorphic rock are associated with the steeper escarpment country to the west of the township and the steeper graded outcrops toward the coast.

The Moruya River itself is classified as a 'mature barrier estuary', characterised by a large river occurring behind wave deposited beach sand, with a constricted inlet and relatively small tidal range. A large and much studied beach ridge plain lies north of the Moruya River mouth toward Broulee. Acid Sulfate Soils are known to occur in pockets around Moruya at varying depths. These soils were formed by natural processes thousands of years ago and are found in low lying areas of the floodplain and around creeks. Any lowering of the watertable or physical disturbance of potential acid sulphate soil may result in the exposure and subsequent oxidation of the iron sulphate sediments. The creation of sulfuric acid via this process can cause significant environmental damage.

Urban Structure



Section II explains key components of Moruya's urban structure. The Urban Structure provides principles for managing development to ensure both the urban and natural character are considered in planning decisions. The Urban Structure section of this plan guides the location and form of future growth and development in Moruya. Section II also provides key directions derived from the data presented in Section I and is supportive of the principles of the Eurobodalla Settlement Strategy and South Coast Regional Strategy.

The directions provided in Section II will inform the recommendations provided in the final section of this Plan. These recommendations in turn will be incorporated into Council's Integrated Local Environmental Plan and Development Control Plans.

Managing Urban Growth

A major challenge for Moruya is to plan and manage growth so that the established and natural qualities valued by residents and visitors are conserved and enhanced. These areas of natural assets surrounding the township provide constraints and opportunities in structuring urban development.

This section provides a management framework to balance the need for sustainable economic growth, efficient servicing and preserving the area's character.

Section II addresses managing urban growth according to the following topics:

- **Separation between Settlements and Settlement Boundary.**
- **Setbacks.**
- **Scenic Protection.**
- **Access & Circulation.**
- **Public open space and recreation.**
- **Public facilities.**
- **Heritage Conservation.**
- **Environmental Management.**
- **Riparian Management.**
- **Natural Hazards.**
- **Retail Development.**
- **Retail Precincts.**
- **Industrial Expansion.**
- **Residential Development.**
- **Residential Character.**
- **Moruya Style.**
- **Heights.**

Separation between Settlements & Settlement Boundary.

What are acceptable limits to urban growth? and How can “sprawl” development be avoided?

Containing urban growth to within established settlement boundaries makes sense. This is a policy of the *South Coast Regional Strategy, Eurobodalla Settlement Strategy* and numerous governments around Australia and the world. Development that occurs outside of developed areas is commonly referred to as “sprawl” - it exacts a high cost on society and the environment.

Sprawl places great pressure on converting agricultural lands and natural areas to urbanised uses. This in turn increases the costs of servicing these developments, leads to the destruction of habitat and the loss of farming land, while increasing dependency on fossil fuels as people need travel further for work, accessing medical services, socialising and recreating.

Settlement boundaries manage urban growth. They help protect the values of the surrounding areas and separate coastal settlements.

The aim of the Settlement Boundary is twofold. It acts to protect the farmland and bushland surrounding Moruya from urban sprawl and promotes the efficient use of land, public facilities and services inside the boundary.

Other benefits of the boundary include:

- Stimulates development and re-development of land and buildings within the urban area (urban renewal).
- Assurance for businesses and local governments about where to place infrastructure (such as roads and sewers) needed for future development.
- Cost-Efficiencies for businesses and local governments in terms of how that infrastructure is built. Instead of building roads further and further out as happens in urban “sprawl”, funds can be utilised to make existing roads and other services more efficient.

This plan identifies a boundary around each settlement marking the transition from urban to rural land. This plan also identifies where separation will occur between settlements.

What are the pressures on local government to develop outside of established settlements?

Pressure to develop outside of the settlement boundary often results when the use of land for housing creates greater economic benefit for individual land owners than traditional farming. This results in poor containment of towns, resulting in sprawl, loss of town structure, loss of scenic values and threatens to fragment habitat corridors. This form of development has the potential to damage the *Nature Coast Image* of the Shire.

Often residential housing estates packaged as recreational resorts eg. golfcourse estates and well-being retreats, are proposed outside of township areas. In cases such as these, developers apply to rezone land from rural to residential. These developments, located outside of existing settlements, have the potential to strategically commit the coast to development and urbanisation in an adhoc and inefficient way.

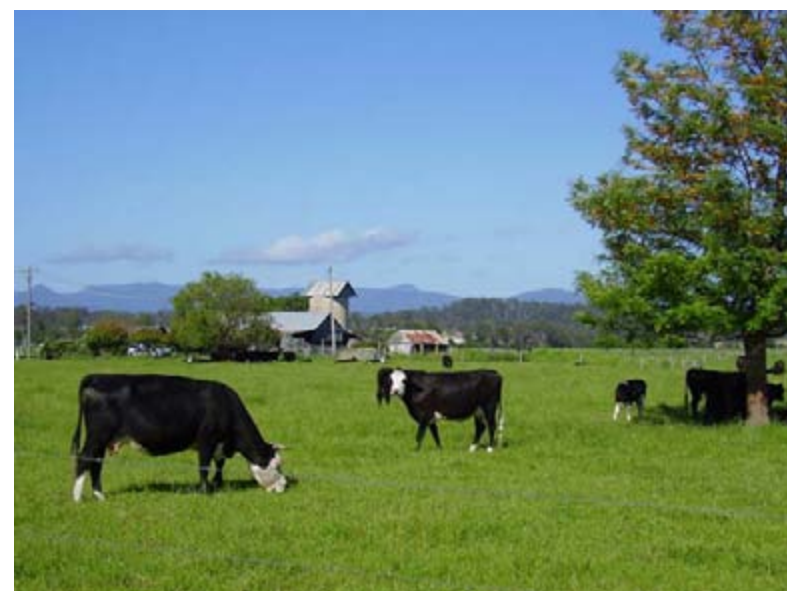
What values support containing development within existing settlements?

The farmland and bushland areas that surround Moruya and that exist between Moruya and Moruya Heads are valued for their landscapes, views and vistas, biodiversity, protection of rural land use and a sense of identity for each settlement. Separation between settlements by agricultural lands or natural areas limits impacts on the surrounding environment and ensures urban settlement avoids joining the coastal settlements to form continuous strip development along the coastal edge. By ensuring separation is achieved the existing diversity of coastal places both natural and urban can be protected and enhanced.

The land between Moruya and Moruya Heads settlements has economic, social and environmental values. The land has economic value as an area used for agriculture with grazing and pastoral activities. It has a social value through the separation of the towns. This physical separation contributes to creating a distinct identity and character for each settlement. The existing pattern of settlement types set within natural and urban lands is maintained ie. town and hamlet classifications. It also has environmental values associated with the landscapes and vistas to and across Moruya River and as a floodplain for the river.



Photos: Land between Moruya & Moruya Heads has economic, environmental and social values.



Principles:

The settlement boundary marks the outer extent of urban development for Moruya and Moruya Heads. It has been designed and located in order to:

- Reduce coastal sprawl and maximise infrastructure and service efficiencies.
- Prevent any further ribbon development along arterial roads
- Ensure that rural and natural lands continue to separate Moruya and Moruya Heads.
- Protect forested areas surrounding urban areas.

Sensitive Urban Lands

The draft South Coast Regional Strategy released by the NSW Department of Planning identified Urban Expansion zoned land at Moruya Heads as being subject to a priority review by an expert panel. The Panel's findings were released on 20 October 2006. In relation to Moruya Heads the Panel was of the view that:

"Council's Environmental Site Analysis for Moruya Heads establishes a reasonable environmental and planning framework for future development within this area. The land is considered capable of development provided:

- the lot sizes are sensitive to topography;
- adequate bushfire management measures are implemented;
- sensitive vegetation areas are appropriately zoned;
- suitable riparian corridors are provided and appropriately zoned; and
- best practice storm water controls are in place to minimise impacts on surrounding watercourses and SEPP 14 wetlands."

"While the Council has identified land immediately to the west and south of Moruya within its Rural Lands Strategy as potential alternative urban land that could yield around 870 lots, the Moruya Heads land provides an opportunity for predominantly bushland style lots, which are in a market between standard residential lots (for which the land is mostly unsuitable) and rural small holdings/ rural-residential-style lots. In this respect the scale of conventional residential development at Moruya Heads is unlikely to reduce the demand for urban residential land at Moruya (which is likely to be more affordable due to lesser topographic constraints)."

RECOMMENDATIONS

The Panel's recommendations for the Moruya Heads land are as follows:

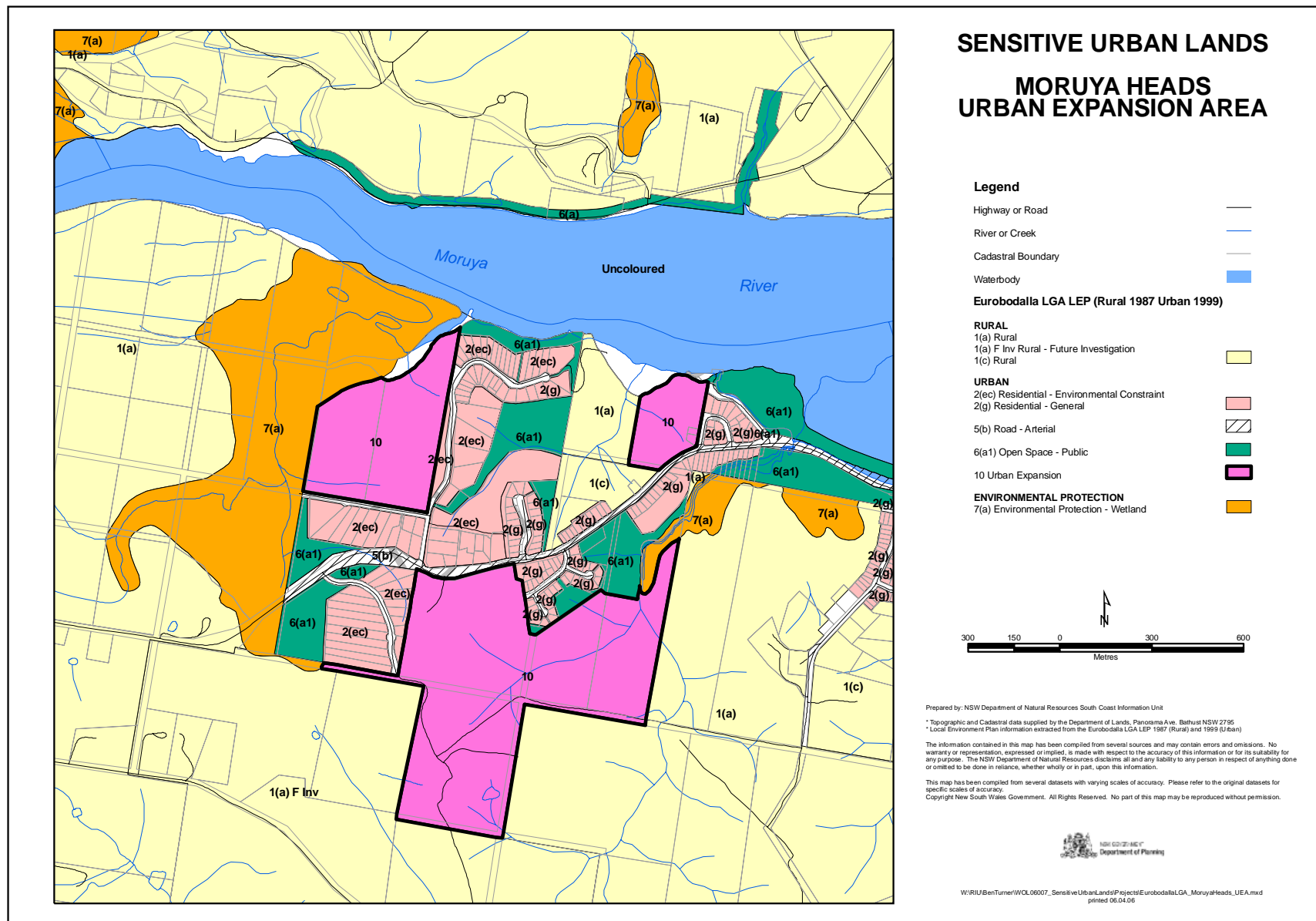
- The Moruya Heads sites are suitable for limited development, subject to adequate protection of riparian zones, downstream SEPP 14 wetlands, and areas containing EECs, in line with the Council's environmental assessment of the land.
- Best practice water quality management is essential.
- The scale and type of development should be consistent with the existing residential areas comprising a mix of lot sizes, according to site constraints.
- Environmental conservation zoning using the new Zone E2 Environmental Conservation under the LEP template should be considered for riparian corridors, areas containing EECs, wildlife corridors and SEPP 14 Wetlands.

Given the above findings, the Moruya Urban Expansion land has been included within the Settlement Boundary for the purposes of this Structure Plan.

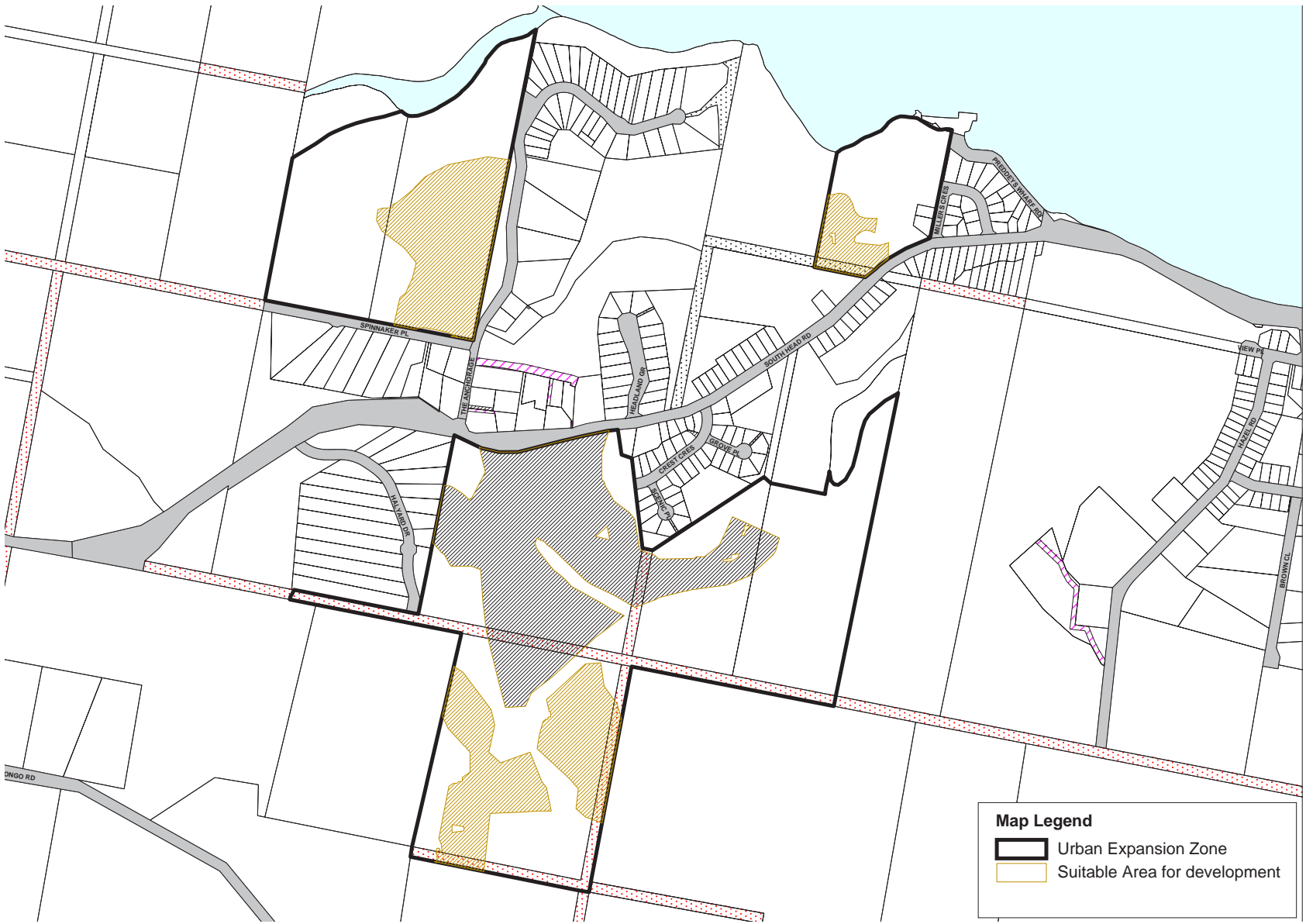
Settlement Boundary Directions

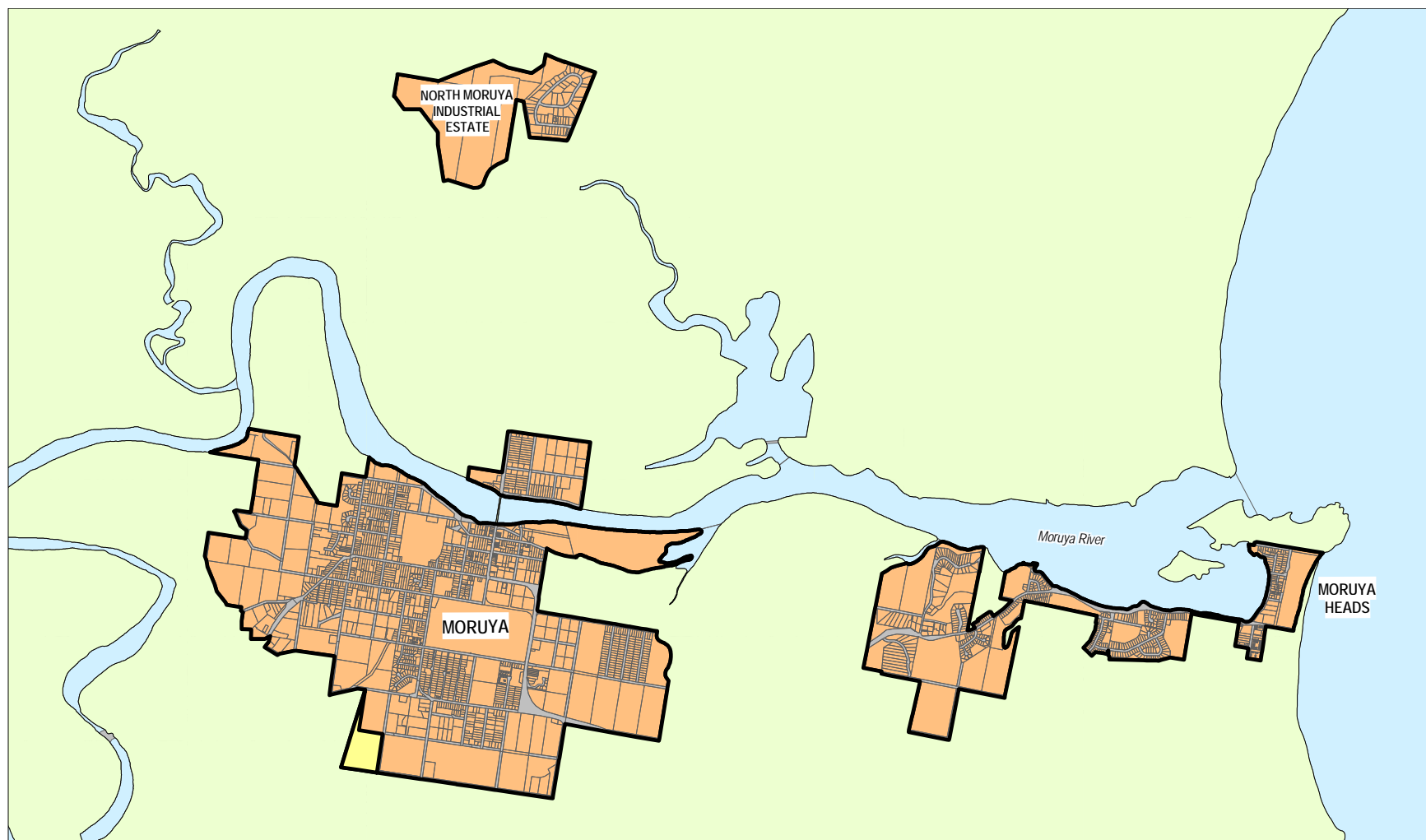
Establishing settlement boundaries and separation between settlements is important in order to ensure coastal settlement character is planned for and urban sprawl is avoided. It is essential that:

1. Urban land uses are located in proximity to services within the settlement boundary.
2. Each settlement retains its unique character.
3. The conflict between bush fire protection and vegetation clearance is managed.
4. The scenic setting of settlements is protected. The rural zoning of the lands separating Moruya from Moruya Heads is retained.
5. Pedestrian access to surrounding open spaces and foreshore areas is established and/or preserved.
6. Foreshore areas are in public ownership and privatisation of foreshore areas is avoided.
7. Large-scale urban (residential) developments outside identified town boundaries and in areas between settlements are prohibited.
8. Buildings and dwellings outside of settlements are not visually intrusive and do not detract from the coastal and rural landscapes and scenic views.
9. Small-scale tourist developments are compatible with the rural and coastal character of the area.
10. Moruya and South Head have well established separation and settlement boundaries. New release areas such as in Urban Expansion Zone 10, sensitively expand on the existing settlement with regard for its urban characteristics particularly scenic setting and street pattern.
11. No urban development outside of the identified settlement boundaries. Preserve bush areas to separate settlements to the greatest extent possible having regard to the need for fire protection zones.
12. The following uses occur only within the urban settlement boundary:
 - a) all types of urban accommodation (tourist and permanent residential);
 - b) retail outlets; supermarkets, bulky goods stores, service stations, fast food outlets; and
 - c) community facilities; schools, TAFE buildings, hospitals, libraries, health care centres, showgrounds, community centres, swimming pool, recreational facilities, sports grounds, playing fields, tennis courts and the like.
13. The Environmental conservation zoning using the new Zone E2 Environmental Conservation under the LEP is applied for riparian corridors, areas containing EECs, wildlife corridors and SEPP 14 Wetlands within the Moruya Heads Urban Expansion Zones (as per Independent Panel Recommendation).






This map shows the extent of the urban that Council considers is suitable for development.





Map Legend

-  Contain urban development within Settlement boundary
-  Maintain separation between Settlements (rural, bushland and farmland)
-  Rural residential land within Settlement boundary to be rezoned to urban

Settlement boundary

Setbacks

Setbacks are important within urban areas to protect foreshore and riparian zones, to separate land uses, minimise bushfire risk, protect environmentally sensitive areas and to encourage an attractive streetscape. Setbacks must take into account the topography of the land and environmental attributes.

It is important that areas adjoining freshwater estuarine, coastal habitats and the coastal edge are managed to reduce negative land use impacts through setbacks. These setbacks support the protection of properties from erosion, protection of sensitive ecologies, provision of public access along the foreshores and to natural areas, provision of visual amenity along the foreshore, protection of properties from the effects of sea-level rise, improvement of water quality.

Setbacks should address coastal erosion hazards such as storm surge events and river flooding, long-term shoreline recession and sea-level rise, cliff retreat and catastrophic collapse, sand drift hazard, entrance stability, estuarine erosion and changes in tidal current position.

Setbacks are also important in providing visual buffers to new development areas and in protecting the scenic qualities of coast roads.

Future residential development at East Moruya and Moruya Heads (abutting the highway and settlement entry road) has the potential to adversely impact on the scenic setting of the settlements. A vegetated setback (visual buffer) comprising mature canopy and understorey shall apply to new release areas to preserve these visual qualities.



Photo: Setbacks from the river allow for public access along the river foreshore.



Setback Directions

1. For new developments the foreshore setbacks should be at least 50m wide as a precautionary measure where possible.
2. Setbacks should be, where possible 90m or more where they are adjacent to ecologically sensitive areas or in situations where the coastal erosion hazard requires greater distance.
3. Setbacks for redevelopment should consider a 100 year planning timeframe to address shore line retreat and sea-level rise.
4. Development on dunal systems is prohibited. This applies to frontal areas and hind-dune systems.
5. Set new development back from the foreshore edges of the ocean, lakes and other waterways to protect visual amenity and create opportunities for public access.
6. Ensure that the design of buildings and other structures on properties adjoining the foreshore complements the function and character of the foreshore.
7. Ensure that foreshore setbacks in public ownership where ever possible, allow opportunities for public access and have limited development including no roads, private allotments, infrastructure and retaining walls in these locations.
8. Setbacks to waterways, creeks and estuaries allow for a riparian vegetation buffer to be determined in accordance with DNR Guidelines. Asset Protection Zones (APZ) for bushfire protection should be in addition to riparian buffers.
9. New release areas abutting an arterial road/settlement entry road shall maintain a 40m vegetated setback to the road. The setback to include the vegetation canopy and understorey to maintain ecological corridors and the scenic character of roads. Bushfire management setbacks are in addition. Scenic areas and ecological corridors should not be compromised by bush fire buffers.
10. In new areas provide edge roads between all urban areas , foreshore reserves and orient streets to provide:
 - a. direct pedestrian access to the foreshore; and
 - b. views to the foreshore as well as distant views and vistas.

Scenic Protection

What can be done to preserve visual amenity and protect key views and vistas?

Natural areas that are highly visible from public places contribute to the scenic qualities of Eurobodalla Shire and are valuable as backdrops to settlements and road networks. Valuable natural landscapes include vegetated ridgelines and slopes, estuaries, ocean beaches and headlands. Farmland and modified rural landscapes also add character and create an identity that brings benefits for residents through tourism.

The objective of the Scenic Protection component of this plan is to ensure that Moruya continues to have inland coastal town characteristics, and the rural and river vistas that make it so special. As the town develops, it is important to ensure that the existing scenic natural and estuarine attributes are considered in the design response in development proposals. This includes buildings, subdivisions, road and other infrastructure improvements.

Areas with high scenic value are important to the permanent and visiting population, and are also of ecological value. Retaining scenic values will ensure that the desirability of Moruya as a place to live and holiday continues to increase, thereby protecting the economic base of the area.

This scenic protection component identifies locations that are important in maintaining the scenic qualities of the town and those areas between the settlements. The scenic landscape types have been categorised into:

- Predominantly natural.
- Predominantly urban.
- Settlement settings.



Photos: Coastal drive scenic values(North Head Drive)



Predominantly natural

The entry roads to Moruya generally feature a combination of bushland and farmland scenic values. Coastal scenic values along coast roads are important to maintain and can be categorised into three broad groups:

1. Coastal Drives: The scenic values include coastal foreshore, beaches, headlands, rocky outcrops, forest and coastal vegetation. Coastal drives generally provide access to the coastal, lake and river foreshores for visitors and residents (eg. North Head Drive).



2. Bushland Drive: This is the Princes Highway. Scenic values include forests, wetlands, valleys and bridges. Many of these areas are either State forest, National Park or farmland.



3. Farmland Drive: This is also the Princes Highway. These areas make up some of the Eurobodalla coast's most spectacular scenery and have unique scenic values. Farmland provides the transition between some of the larger settlements and bushland. Farmland scenic values include historic bridges, farmhouses and outbuildings, wetlands, coastal lakes, mangroves and rural roads.





Photo.1 Moruya Heads urban expansion land viewed from North Head Drive.

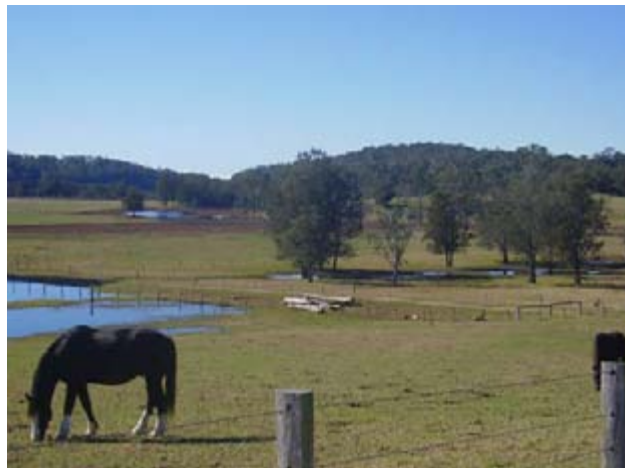


Photo.2 Vegetated hills at Moruya Heads urban expansion land viewed from South Head Drive.



Photo.3 Vegetated hills surrounding Moruya. View to the west along the coast drive (Princes Highway).

Photo.4 Moruya Heads urban expansion land viewed from South Head Drive.



Photo.5 Moruya Heads sensitive urban land looking from North Head Drive.



Photo.6 Farmland scenic values include historic bridges, relics, farmhouses and outbuildings.



Predominantly urban

There are two types of scenic urban landscapes - coast roads through settlements and main streets. The main street is the social and economic lifeblood of Moruya, having an historic streetscape and unique scenic character. It is important that these scenic qualities are maintained and enhanced.

The entry road into Moruya from the north contains a row of poplar trees and farmland views. This vegetation along the entry road adds character and imbues Moruya with a distinct feel. This vegetation should be retained and embellished through planting with themes consistent with existing character.

Settlement setting

Moruya's setting is unique. It is a combination of distant views, close views, view corridors down important streets, vistas to and from the settlement, serial views (i.e. a composition of many views experienced in a progression as one moves into, through and out of a settlement) and the character of ridgelines surrounding settlements. It is important to retain the "element of surprise" as one moves throughout the settlement.

Surrounding hills

Moruya sits in a basin surrounded on all sides by vegetated hills. The distant vistas in all directions are of the heavily wooded hills. This is a distinctive feature of the visual setting of Moruya. Most of these vegetated hills are located outside of the settlement footprint but some vegetated ridgelines and knolls are located within the urban expansion area and need to be preserved.

The western edge of the Moruya Heads urban expansion area provide a section of this ring of bushland. This edge is visually important on the approach to Moruya Heads when looking or travelling towards the east. The sections that front the Moruya River foreshore are also of high scenic value when viewed from the estuary and from North Head Drive along the northern bank. A high knoll centred in the north western section of the zone is visually significant. Photos 1, 2, 4 and 5 show some of the visual amenity of the Moruya Heads urban expansion land.

Principles

- Ensure scenic protection of the coastal drive (Princes Highway) and the tourist drives entering Moruya and Moruya Heads (settlement entry roads).
- Protect the coastal farm character of Moruya.
- Protect the scenic backdrop (vegetated hills) that surround Moruya.



Scenic Protection Directions

Entry sites

1. Develop urban design criteria for the two nominated entry sites in the town centre.

Entry roads to the south and north of Moruya.

1. Scenic landscapes along the coast most at risk are those located along Coastal Drives and Settlement Entry Roads. Locations most at risk that require protection include:
 - All new urban lots to the south and east of Moruya. They will have extreme visual impacts on the farmland setting of Moruya along the Princes Highway.
2. Ensure minimal vegetation is removed (in vegetated areas) and the farmland character is maintained (bulk, scale, coastal materials, landscaping). Maintain existing road alignments.
3. Assess the visual impact of future residential proposals on expansion lands that adjoin or are visible (from the Princes Highway) and apply appropriate vegetated visual buffers. Require revegetation in accordance with Catchment Action Plan (CAP).
4. Development shall be designed and located so as to :
 - protect and enhance major vistas, view corridors and areas of scenic protection; protect rural heritage buildings/relics.
 - Define gateways and focal points; and

- Strengthen the visual context of buildings or places of significance.

Moruya River environs

1. Ensure minimal vegetation is removed and the estuarine character is maintained to reinforce the town's historic dependence on the river.

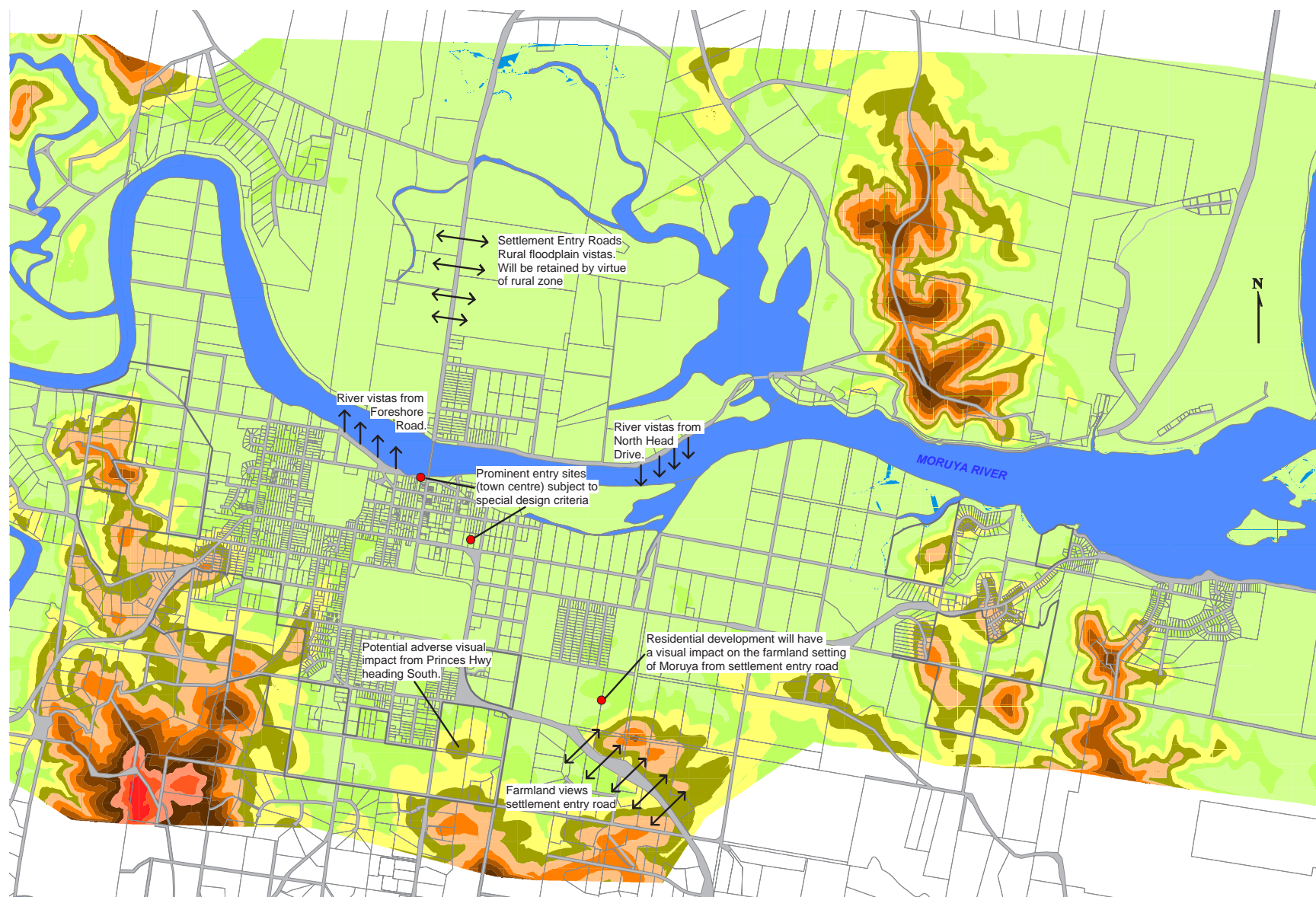
Moruya Heads/Coastal Headland character.

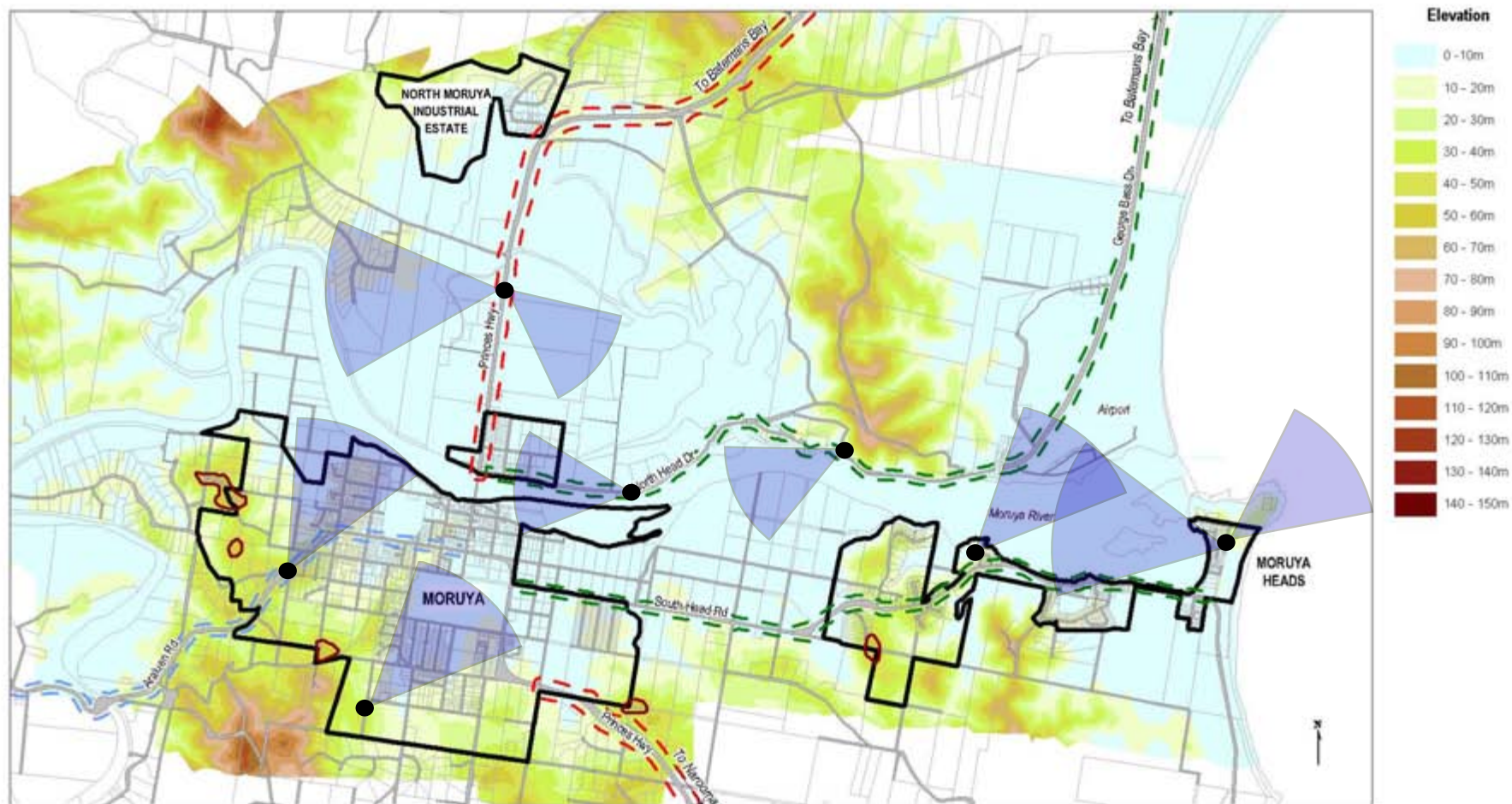
1. Ensure minimal vegetation removal. No building on ridge lines. Ensure the historic coastal built character is maintained (eg bulk scale, coastal materials, roof characteristics).
2. The landscape dominates the built form. Buildings are nestled in amongst the vegetated backdrop.
3. Maintain coastal built form character.
4. Apply a 40m vegetated visual buffer abutting the settlement roads for new release areas.

Map Legend

- 1 - 10m ASL
- 10 - 20m ASL
- 20 - 30m ASL
- 30 - 40m ASL
- 40 - 50m ASL
- 50 - 60m ASL
- 60 - 70m ASL
- 70 - 80m ASL
- 80 - 90m ASL
- 90 - 100m ASL
- 100 - 110m ASL
- 110 - 120m ASL
- River

Areas identified as being important for scenic values.

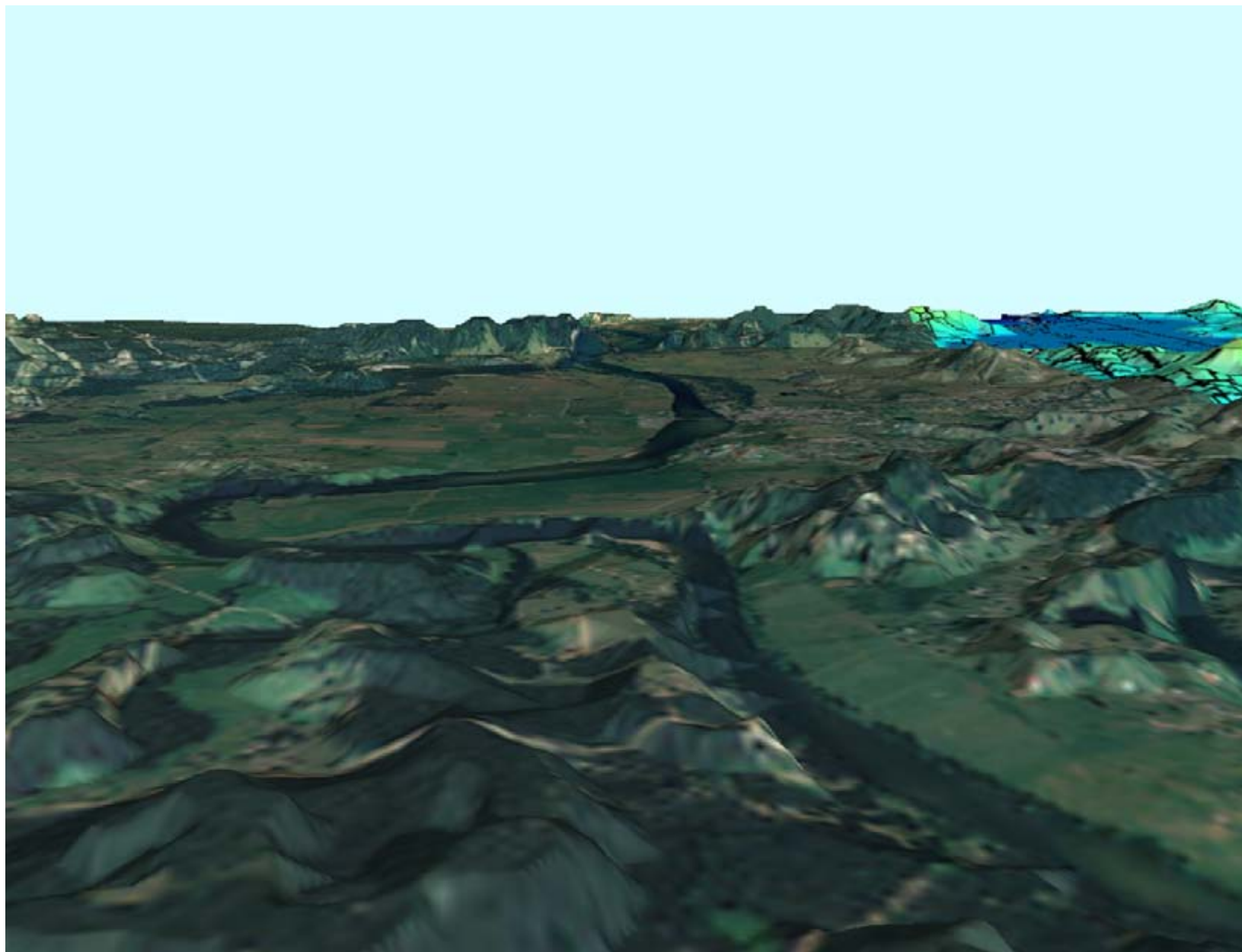




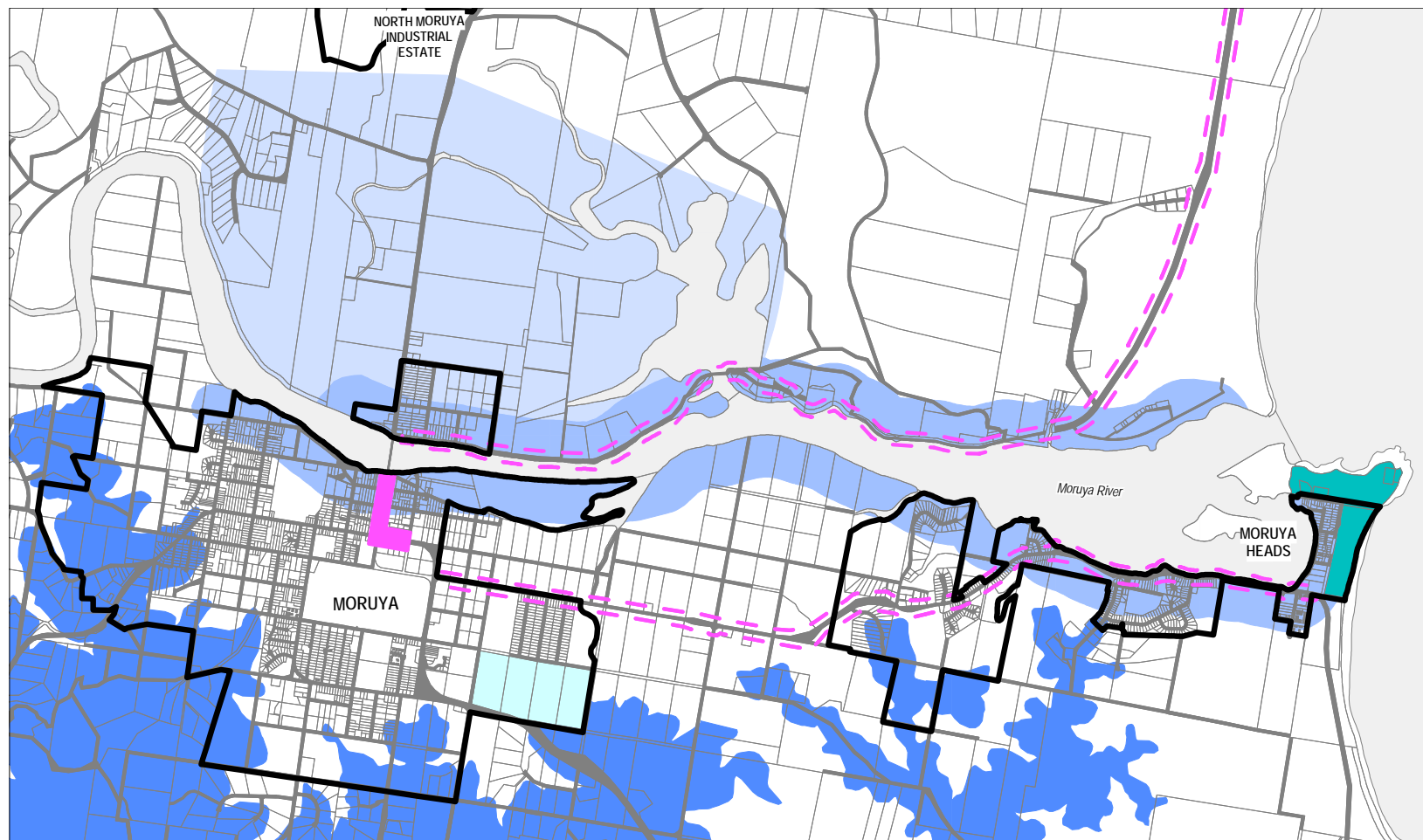
Scenic Protection Plan

- Bushland drives - scenic values include forests, watercourses, bridges and farmland
- Coastal drives - scenic values include beaches, headlands, rocky outcrops and coastal forests
- Scenic route includes mountains, forests, rivers, bridges and farmland

- Moruya Plan boundary
- Vegetated ridgelines in expansion land requiring protection
- Viewpoints
- Vistas



Moruya sits in a basin surrounded by vegetated hills.



Scenic Protection Plan

Map Legend

- | | |
|---|--|
| <p> Sites subject to scenic protection as they provide river floodplain / farming views, important in maintaining rural character</p> <p> Sites subject to scenic protection as they are important to the visual catchment of the Moruya River</p> <p> Sites subject to scenic protection as they form the scenic backdrop and setting for Moruya (vegetated hills / ridgelines)</p> <p> Sites important to the scenic qualities of Coastal headlands</p> | <p> Sites subject to scenic protection as they have extreme visual impacts on the farmland setting of Moruya along the Princes Hwy</p> <p> Sites subject to scenic protection as they provide the historic Main street / local urban character</p> <p> Coastal drives - scenic values include beaches, headlands, rocky outcrops and coastal forests</p> |
|---|--|

Access & Circulation

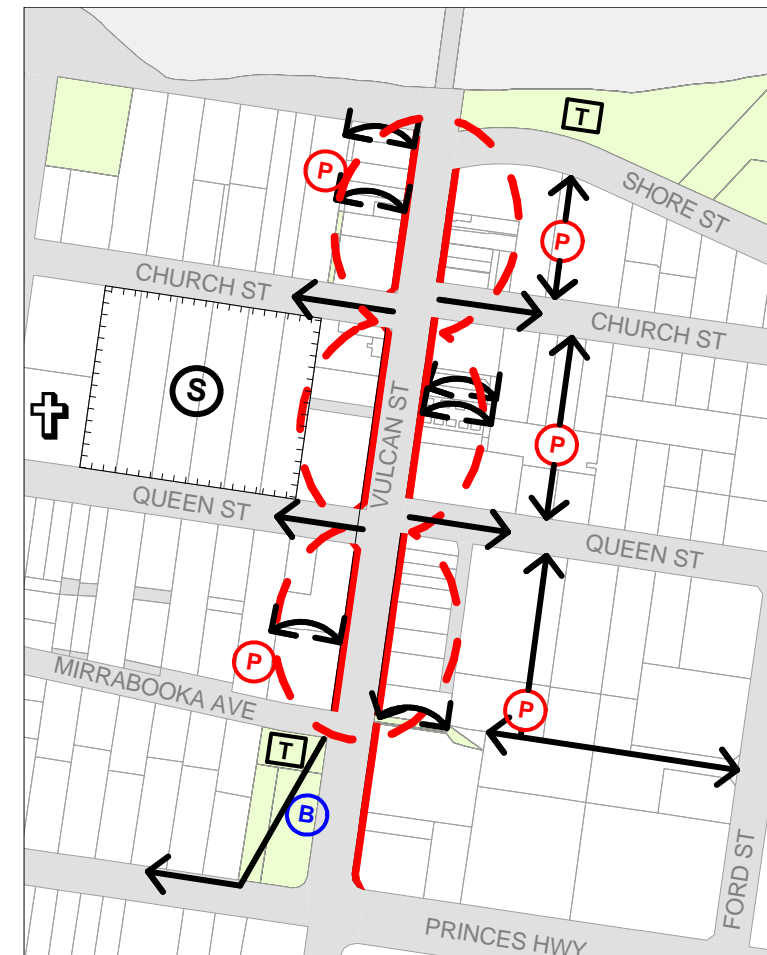
Connecting people, places and spaces.

Good connections and access to local facilities and services enhance choice, improve social equity, can improve public health, and make places lively, safe, and easy to get around. Good connections also increase the legibility of a place, making it easier to find your way around and provide opportunities for community interaction. Walking and cycling are encouraged as sustainable forms of transport. A key factor of providing appropriate connections is ensuring they are barrier-free so that all members of the community have the opportunity to move around the town.

Walking and cycling are encouraged as sustainable forms of transport.

This component of the Structure plan identifies the future function and character of roads and streets in Moruya. It recognises the qualities and value of the existing street pattern and the importance of maintaining walkable distances and connectivity throughout the town and to its river foreshore. It seeks to maintain the scenic values associated with the local road network and improve pedestrian environments, especially along foreshores and in retail areas.

Roads have functions other than just the movement of vehicles. Local roads contain scenic values and access to views and vistas that contribute to the character of the settlement. The main street acts as the civic centre for the town and has social and economic values. Moruya was built upon a traditional grid structure. Reinforcing this street pattern provides high accessibility and permeability for pedestrians and vehicles. It also improves the legibility of the place, making it easier to navigate, and providing opportunities for community interaction.



Pedestrian Access within and around Moruya Town Centre

Map Legend

- Active retail frontage/continuous awnings
- P Parking
- B Bus Stop
- T Public Toilets
- S School
- Park
- ↔ Mid block pedestrian link
- Core Town Centre
- + Church

Moruya is situated on the river and has a bridge at the entry to the town from the north. The highway travels through town along its main street. This provides direct connection to parts of the town and provides commercial opportunities from passing trade. Moruya's main street (Vulcan Street) carries all through-traffic. This is important to ensure commercial viability and activity.

Since the installation of traffic signals in the main street, Shore Street is increasingly being used as an alternate route/bypass to Vulcan Street directing through traffic away from the main street area of town. This has implications for the established road hierarchy of Moruya and management of pedestrians in secondary streets. This is particularly important during events and on weekends when open-air markets take place. Traffic calming measures along Shore Street are needed to slow vehicles. This will in turn reinforce Vulcan Street as the main street in the Road Hierarchy.

In looking at the future structure of access and circulation for Moruya it is essential that the following principles be applied:

Principles

- Urban growth is based around neighbourhoods, with local facilities to meet people's daily needs within easy walking distance.
- New streets are designed in response to the topography and other natural features, thereby ensuring a predominance of streets that relate to the original landform.
- Streets that provide access and views to the coast, foreshores and headlands, other significant natural features and places of public importance are protected.
- The public importance and visual prominence of river foreshore streets is reinforced.
- The primary importance of the main street as the social, cultural and historical hub of Moruya is maintained.
- Cycling as a desired mode of transport is encouraged by the provision of cycling facilities.
- Connections from the town centre to points of activity, such as Riverside Park, recreational uses, schools and preschools, are enhanced.
- The town centre is connected with the coastal cycleway and destinations of interest.
- Alternate modes of transport is promoted to reduce dependency on private vehicle usage.
- The amenity of facilities for bus users is improved.
- Connections with community uses, such as libraries, beaches, community centres, are identified.
- Access is barrier-free, and pedestrian paths and cycleways follow instinctive routes of movement (desire lines) to connect to places people want to go to.
- Local facilities are centrally located for the community.
- Pedestrian and cyclist connections between the town centre and the surrounding residential areas are enhanced.

As well as applying these principles to future development, this Structure Plan seeks to reinforce the road hierarchy for Moruya as outlined in the Eurobodalla Settlement Strategy.

Road Hierarchy

It is important to uphold the road hierarchy in order to maintain and improve the efficient functioning of the road network. For Moruya, the hierarchy of access and connection is as follows:

Arterial Road: The Princes Highway

The Princes Highway is located inland and parallel to the coast. Its main function is to connect Eurobodalla to the rest of NSW and Australia. It takes all fast-moving and through-traffic and provides scenic values. Strip retail and commercial development is to be avoided along the highway outside of the settlement boundary.

To ensure this is achieved, traffic generating developments, such as schools, hospitals, playing fields and other major public facilities, are located within the settlement boundary.

Settlement Entry Roads - Moruya

South Head Road, North Head Road and Campbell Street are settlement entry roads.

Main Street

Vulcan Street is the main street.

Foreshore Street

Shore Street is a Foreshore Street.

Settlement Entry Road - Moruya Heads

South Head Road is the settlement entry road.



Shared pathways along the river foreshore.





Photo A. Foreshore Road- River Street.

Photo D. Moruya's Main Street
(Vulcan Street) - Princes Highway



Photo B. Settlement Entry Road - Moruya
Heads(South Head Road). Maintain vegetated
buffer to new release areas.
Photo E. Settlement Entry Road



Photo C. Settlement entry road - high scenic values.

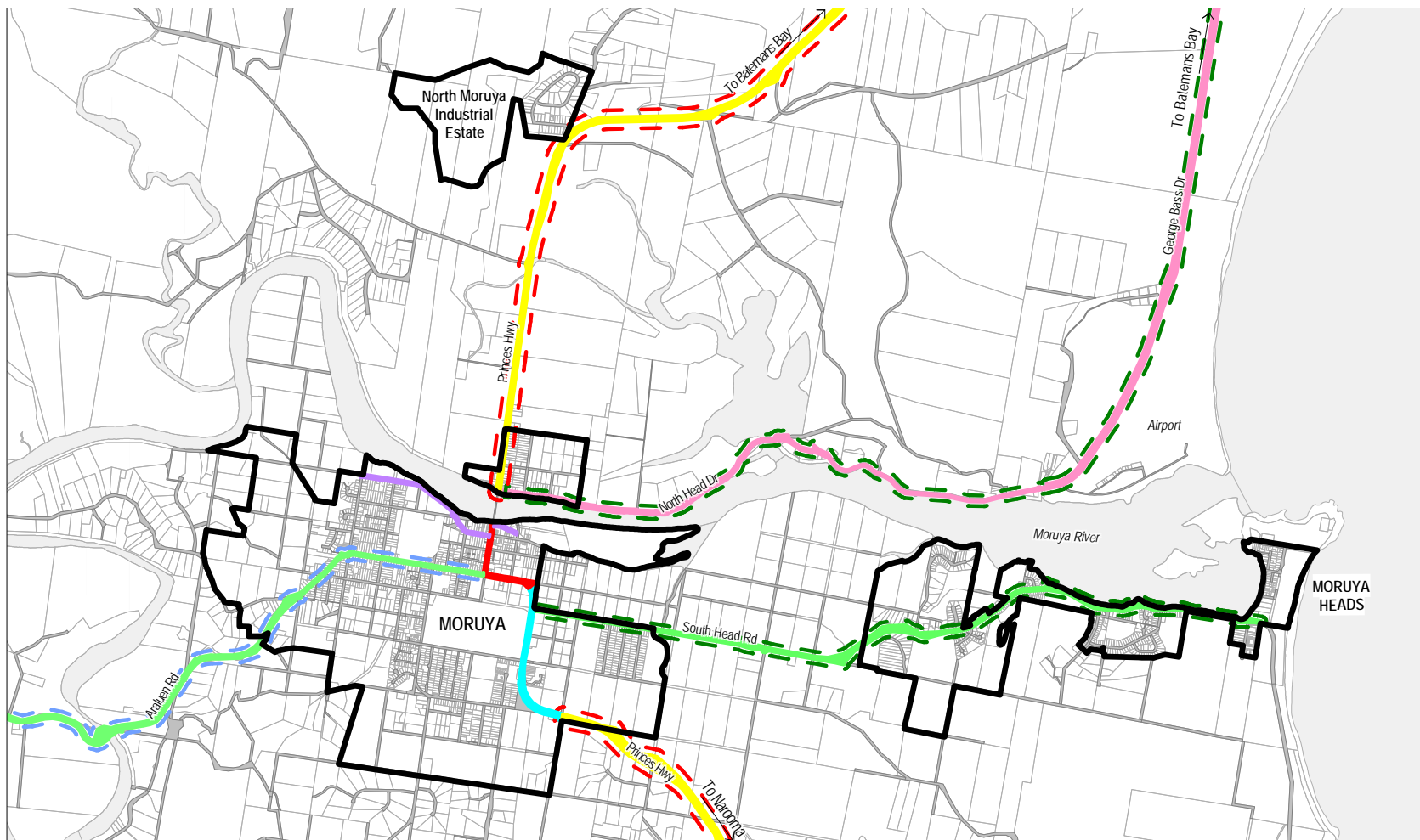
Photo F. Settlement Entry Road - provide access &
views to the river.



Access & Circulation Directions

The following directions are provided to ensure that planning and design decisions concerning roads and streets throughout the town consider not just their functional efficiency in terms of vehicular movement, but also:

1. Ensure the main street continues to develop as a vibrant and busy primary centre, which is able to accommodate the full range of transport modes and provide a high level of pedestrian, retail and commercial amenity.
2. Ensure that the relationship between roads and their particular bush and coastal character is protected.
3. Complete the coastal cycleway linking Moruya to Moruya Heads.
4. Ensure that the traditional pattern of street and road types in Moruya is used as a key principle if/when developments or changes to streets and roads are proposed.
5. Continue the grid pattern/warped grid pattern based on topography to maintain the character of the country town.
6. Settlement entry roads will maintain their scenic values. Ensure new development cannot be seen from bush and coastal drives that at present has a natural character.
7. Recognise the importance of coastal foreshore roads for access and amenity to the water and coastal public open spaces.
8. Ensure roadway designworks incorporates space requirements and grades for bus stops.
9. Ensure bus stops provide an inviting, safe and convenient place for bus users to wait.
10. Integrate parking, bus transport, cycling and pedestrian information in signage within the town centre.
11. Enhance the north/south pedestrian link through the golf course by the addition of suitable trees and improvements to path alignment.
12. Install traffic calming measures in Shore Street (east) to slow traffic and reinforce the road hierarchy.
13. Undertake safety audits, as required, to ensure safe pedestrian movement through the town.
14. Implement Council's bike plan including long-term plans for a continuous riverside pathway linking Moruya Bridge to northern and southern headlands.



Map Legend

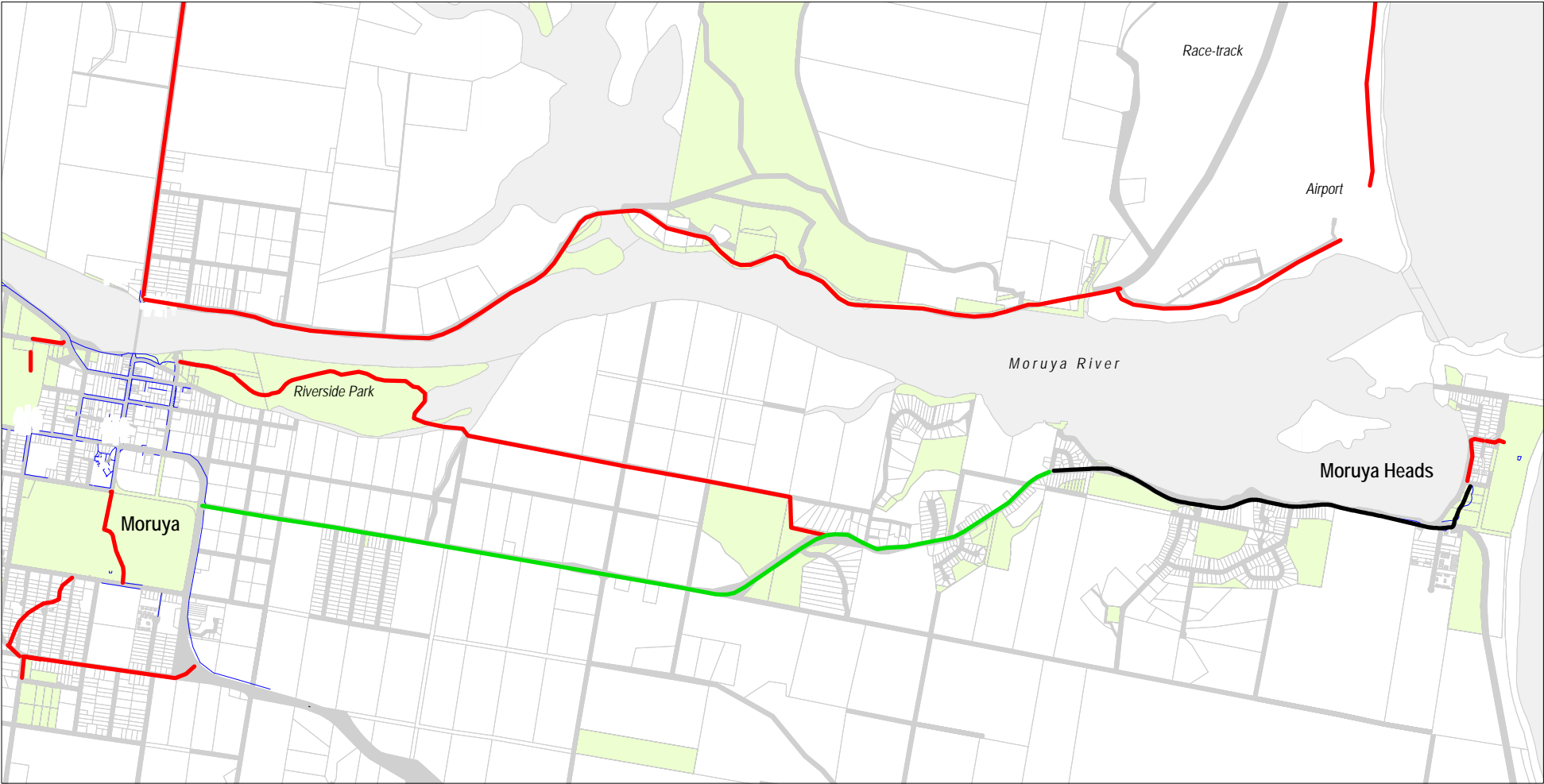
- Main routes between centres/settlements (Princes Hwy)
- Main street - Town Centre
- Settlement entry roads - traffic to and from smaller settlements
- Town entry road
- Foreshore street - river and mountain views
- Coastal drive - scenic values include beaches, coastal headlands, foreshores, rivers and forests

- - - Bushland drives - scenic values include forests, watercourses, bridges and farmland
- - - Coastal drives - scenic values include beaches, headlands, rocky outcrops and coastal forests
- - - Scenic route includes mountains, forests, rivers, bridges and farmland

Access Plan



Town Centre Area - Existing Footpath Layout



Map Legend

- Proposed cycleway - 20 year project
- Proposed cycleway - 5 year project
- Existing cycleway
- Existing footpaths

Existing and Proposed Cycleways

Public Open Space & Recreation

An extensive open space network exists within Moruya. This is historically attributed to the extent of land subject to localised flooding. This system of reserves is a great recreational and amenity asset for the community.

Moruya is well-serviced by sporting facilities. It has a bowling club, tennis courts, 18-hole golf course, basketball courts, swimming pool, skatepark and numerous sporting fields. There is an extensive network of reserves for passive recreation. There is good access to the river foreshore available from Chesher Park in the west to Riverside Park in the east. The reserves are linked by a 1.25km cycle/walkway along the riverbank.

The reserves are valuable urban greenspaces within the township. As they are located just minutes from the Moruya town centre and the Princes Highway, the reserves also serve as a focus for recreational and social activity within the township of Moruya.

In looking at the future structure of open space for Moruya, it is essential that the following principles are applied:

Principles

- Reduce car dependency, and encourage walking by ensuring the town centre is compact.
- Increase bicycle usage.
- Increase public access to and along the foreshore.
- Preserve open space for the benefit of the natural and built environments and for future generations to enjoy.

- Provide a diverse and abundant range of open space experiences.
- Provide places for people to meet.
- Protect and enhance the natural, scenic and heritage qualities of the area.
- Protect and reflect the local identity and cultural heritage.

Moruya Reserves:

Moruya Showground Reserve:

The Moruya Showground Reserve Trust was originally dedicated for Public Recreation in 1866. The Moruya Showground is the Eurobodalla region's only agricultural showground and the use of the area has strong links to the Shire's early settlement history and heritage.

A Plan of Management and Conservation Management Plan have recently been completed for the Showground Reserve.

Heritage values limit future development of the Showground precinct. The existing scale and density of development, as well as the design and fabric of buildings, shall be maintained.

The Moruya Showground precinct will continue to be the rural events focus of the Shire, providing facilities to encourage rural activities and events to enhance the lifestyle and character of Moruya.

Moruya Golfcourse

The Moruya Golf Course was developed on the reserve initially as a nine-hole course in the period from 1914 – 1925. The course was expanded to an 18-hole course in 1988. The reserve is also used regularly by the public for pedestrian access from the southern parts of town, including from Moruya High School to the town centre. The closed road reserve extending from Murray Street to the highway is also maintained for non-vehicle public access under lease conditions.

This plan recognises the importance of the golf course as a recreational asset for the community. It is desirable to provide a quality golf course that is well-maintained and well-patronised. It is intended to maintain the existing Golf Course as a leased area and to continue to maintain the sporting and informal open space of the main part of the reserve for public enjoyment. All improvements will be aimed at increasing the amenity of the area for these purposes.

Gundry Oval

This reserve consists of playing fields, practice nets, carparking areas, public toilets, canteen/amenities block, clubhouse, criterion cycle track, playground, skateboard ramp and half-basketball court and pedestrian bridges across stormwater drains. Gundry Oval is a major sports venue for the Shire, particularly for junior sports, and is well used throughout the year for local and regional events.

It is intended to maintain Gundry Oval as an active recreational facility available for use by the general public and promote the status of the ovals as the Shire's regional sportfields. The Community Reference Group identified Gundry Oval as being a suitable site for a future multi-purpose facility.

Riverside Park & Russ Martin Park

Riverside Park occupies over 37 hectares of flat riverside land. The reserves feature views of the river and mountain ranges, open grassy meadows, hidden lagoons and wetlands, BBQ and picnic facilities, play equipment, and a 25m swimming pool. Conveniently situated just minutes from the Moruya town centre and the Princes Highway, Riverside Park has the potential of becoming a focus for recreational and social activity within the township of Moruya but the Shire as a whole.

The Moruya Riverside Plan promotes the extension of pedestrian and bicycle paths, already providing great links around town, through a series of paths within the reserves. Russ Martin Park and the Swimming Pool areas will be upgraded to improve the amenity of the reserves. Various events will be encouraged in Moruya Riverside Park. This may include food festivals, carnivals, festivals, music concerts and markets.

Moruya Heads Reserves

There is a network of National Parks and Council reserves at North and South Head. South Head Reserves include Shelly Beach, with a small car park and picnic facilities. Toragy Point on the south headland contains an old cemetery and lookout. There is also Main Beach that houses the Moruya Surf Club and car park. Both reserves provide public access to the beach and are managed as part of the National Parks and Council reserve systems.

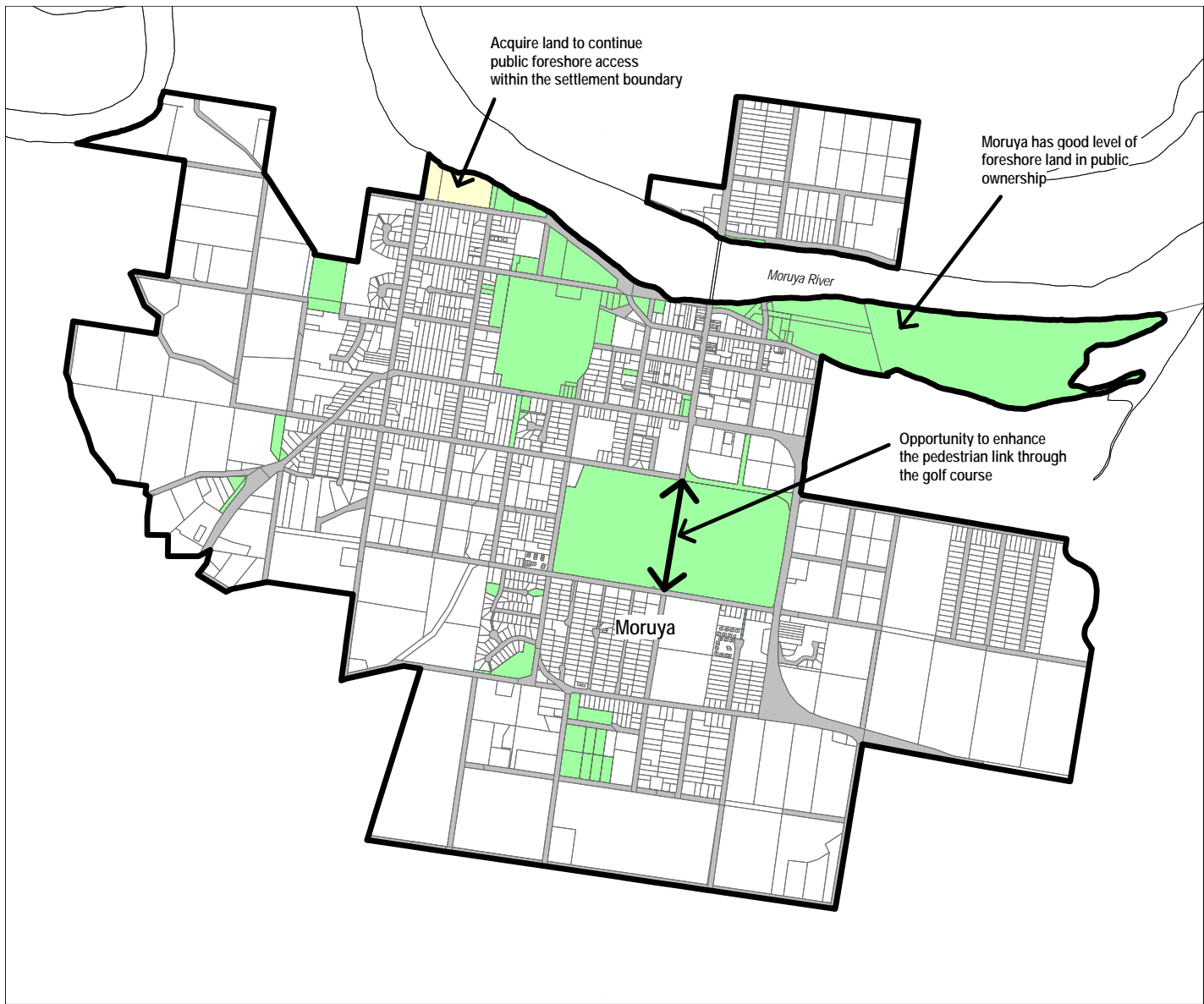
Public Open Space Directions

1. Acquire foreshore land at the hospital site by way of dedication to ensure the entire Moruya urban foreshore is retained in public ownership.
2. Maintain existing golf courses, ovals and parks.
3. Implement the coastal cycleway as indicated on the plan.
4. Nominate possible site for potential future cultural centre
5. Existing public open spaces are to be maintained and enhanced.
6. Maintain existing sporting facilities in their current locations (ie. do not establish new facilities outside of the settlement boundary).
7. Implement the respective Plans of Management for Moruya Reserves:
 - Riverside Park Plan of Management.
 - Moruya Golf course & Showground Plan of Management & Conservation Management Plan.
 - Gundry Reserve Plan of Management
 - Apex Park Plan of Management.
8. Implement a regional playground facility at Riverside Park to be complemented with BBQ facilities, picnic areas and open spaces for informal games.
9. Promote the use of Riverside Park as a recreation and cultural precinct.

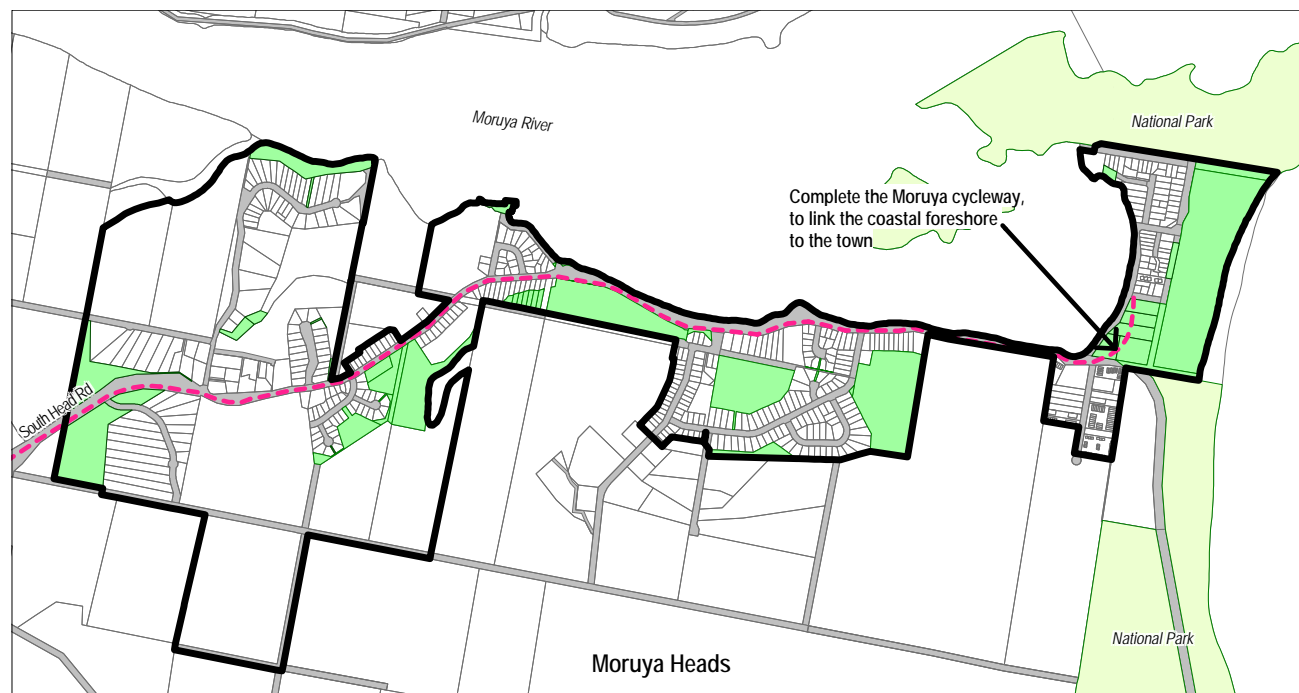


Photos: Public open space

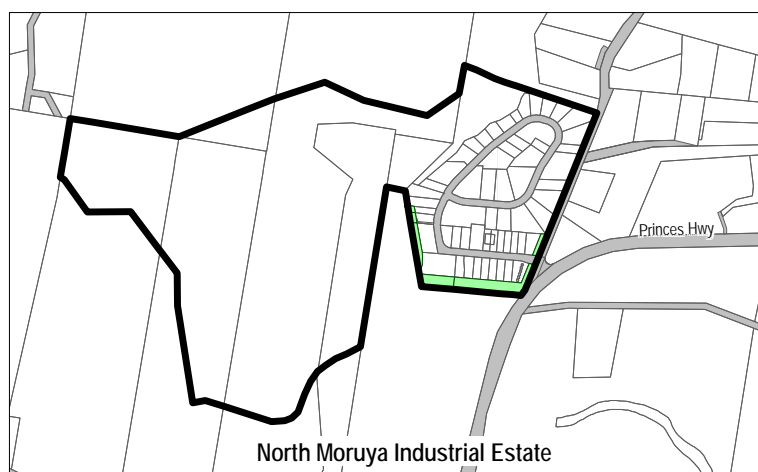




Open Space and Reserves



Open Space and Reserves



Public Facilities

Consolidating public facilities within the town centres

Large towns such as Moruya are ideal locations for new commercial, retail, civic and employment generating developments. They have an existing economic, service and social infrastructure which can support increased activity whilst reducing the need to urbanise more remote and natural environments.

This plan recognises that locating community facilities within settlement urban areas is important, particularly where the service is used on a daily or weekly basis.

The more compact the settlement, the better the opportunities to establish, upgrade and enable access to transport services. Therefore, more people will have access to a greater range of services in a smaller area. A greater patronage of centrally-located services leads to higher use of public transport. This reduces the use of private motor vehicles and the distance travelled, thereby reducing the use of fossil fuels and greenhouse gas emissions.

Eurobodalla Shire Council is actively working to bring forward the delivery of a single regional health facility with associated local rehabilitation services and local community health services. Council is facilitating community consultation with a view to gaining State Government commitment to building a new regional facility within a ten year time frame.

The IRIS survey and the Community Reference Group highlighted the desire to have the new hospital location maintained in Moruya.

Cultural Facilities

There was general agreement in the IRIS Survey findings that Moruya was the logical location for a regional cultural centre given its centrality and the possibility of an appropriate site by the river. Expectations of what a regional cultural centre could accommodate included a regional gallery, a performing arts space, workshop spaces, an Aboriginal Keeping Place, conference facilities, visitor information, café and arts retail opportunities. The regional cultural centre would be a purpose-built, professionally staffed facility that would be either directly managed or contracted by Council.

A site for a regional cultural facility has been nominated within the town centre at Riverside Park. Development will be subject to flood requirements. It is intended that Riverside Park will be promoted as a cultural precinct.

What is Council doing for art and cultural development?

Council addresses cultural needs in its Cultural Plan. The Cultural Plan aims to increase the understanding of Council and the community of the relationship of culture to community, economic and social development, clarify Council's role and responsibilities to engender an environment that is conducive to active, diverse and rewarding cultural endeavour and enterprise and identify and support strategic cultural development measures for the long term benefit of the community. Council's play a key role in advocacy.

Arts and Cultural Development has been provided, in the main by not-for profit community organisations whose primary aim is the provision of services to their memberships and who work somewhat in isolation from Council and each other. Council assists a number of these groups, either through rate rebates or an annual allocation of funding.

The library service supports arts and cultural activities in the community, particularly in relation to local artists, hosting book launches and exhibitions for all age groups and interests. The library service initiates activities (alone and in partnership) that encourage arts and cultural activities, including creative writing classes, photographic and HSC artwork displays, craft classes, internet classes and activities for children (craft, still life, cartooning).

The Youth Cafes and Council's youth programs provide cultural activities for youth directly and in partnership with the community. EuroCare Services has initiated an arts program for people with a disability. Festivals and events are presented by community and commercial providers such as the Telstra Great Southern Blues and Rockabilly Festival, the Moruya Jazz Festival and A River of Art Moruya.

In 2004, Council adopted the Conservation Management Plan for the Mechanics Institute, Moruya and has commenced its upgrading as the first dedicated cultural facility in the Shire to be used for the presentation of exhibitions, performances and film screenings.

Council manages sixteen venues on behalf of the community and a further twelve halls have been identified across the Shire, although this may not represent a conclusive listing. There are a number of other facilities owned by the community (eg Bay Theatre), that can cater for cultural activities but are also faced with certain limitations.

What must be considered when selecting a site for a Cultural Facility?

Careful consideration needs to be made as to the location of a cultural/entertainment facility and for this facility to achieve its full potential of catering, not only for the needs of local residents, but also to attract visitors and customers and audiences. The site needs to be one that has high foot traffic and the ability to attract passing trade. Cultural and entertainment facilities need to be located in an area whereby a synergy can be established with local bars, restaurants, cafes, boutiques, commercial galleries and gift shops. The cultural facility acts as an attractive hub or destination adding value to adjacent businesses and vice versa. Parking that is adequate to cater for the users/audiences is essential, either at the facility itself or within a very short walking distance, especially for events at night.

Public Facilities Directions

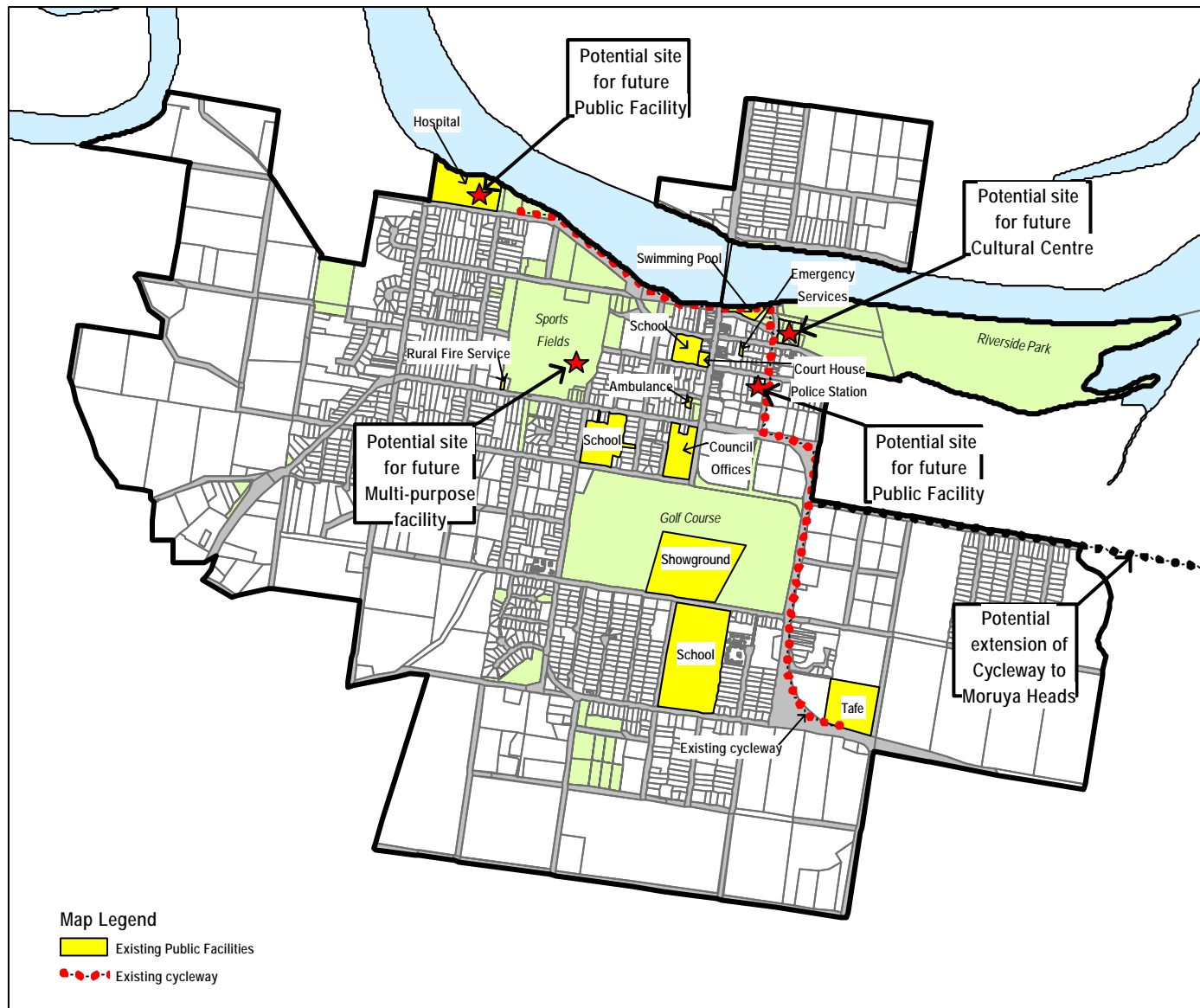
1. No new public facilities to be located outside of the identified settlement boundary.
2. Target sites for institutional uses (special uses) within the settlement boundary.
3. Public facilities are to be retained within the settlement boundary. No schools, hospitals or other public buildings outside the settlement boundary.
4. Any new commercial and civic services for Moruya will be located within the settlement boundary to strengthen its viability and reduce impacts on scenic and natural qualities and reduce car dependence.
5. Development incentives will encourage the private provision of facilities in and improvements to the public domain. These may include financial incentives through private/public partnerships, developer agreements, commercial use of operational land and the like.
6. Make provision for and promote cultural use of district/local facilities in accordance with Eurobodalla Shire Cultural Plan 2006-2010.
7. Nominate land to be Zoned as Special Purposes to enable future institutional uses/State Infrastructure within town boundaries.
8. The following uses are to occur only within the settlement footprint: Community facilities, schools, universities, TAFE, hospitals, libraries, health centres, showgrounds, community centres, welfare and community service facilities, swimming pools, recreational facilities, sports grounds, playing fields and tennis courts.
9. Develop a Regional Cultural Facility that caters for identified needs across a wide range of arts and cultural disciplines and activities (20 year timeframe).
10. Ensure that any public art proposal is in accordance with Council's Public Art Policy.
11. Promote the Mechanics Institute, Page Street, as a specific venue for arts and cultural presentations and promote similar uses in other facilities (eg. Arts Central).



Photo: Swimming complex



Photo: Eurobodalla Council



Public Facilities

Local Heritage Conservation

Heritage places are retained and revitalised to tell the story of Moruya's growth

In Moruya, many heritage buildings remain intact and some streets, blocks and precincts retain their original buildings and parks. The street pattern is generally based on a large grid with wide streets.

Moruya's Heritage is a significant economic and social asset that gives the town much of its distinctive appeal. Moruya's heritage is abundant and diverse, represented in the residential cottages, as well as the public buildings, Mechanics Institute, courthouse, churches and schools within the town centre. It is also reflected in the historic landscapes, associations with the river and its meandering street network.

'Well-mannered' architecture and consistency of building types is important. There is great variety in Moruya's historic buildings and this adds to its charm. Varied materials and details help to tell a story of the town's history, and the different parapet lines and building heights in the town centre provide visual interest and complement the simple formal street grid.

This plan respects Moruya's wealth of heritage by applying the following principles.

Principles

- Protect buildings, structures and places of heritage significance to the local community, the State of New South Wales and Australia.
- Ensure that the significance of heritage items is respected, retained and enhanced when redevelopment or adaptive reuse occurs.

- Ensure that new development in the vicinity of a heritage item or within a heritage conservation area is compatible with the historical context and is sympathetic in terms of materials, design fabric, colours and texture.
- Reinforce the identity or sense of place that has evolved over time and the attachment of people to that identity,
- Retain the authenticity of the built environment as a place to live and support cultural tourism.
- Ensure that all aboriginal objects and sites that are sacred to indigenous communities are protected, managed and respected in accordance with legislative requirements and the wishes of local Aboriginal people.
- Engender respect and consideration for the values of the indigenous community.

Local heritage items

Local Heritage Items are those items of heritage significance to Eurobodalla Shire. Heritage significance means historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value. They contribute to the individuality, streetscape, townscape, landscape or natural character of an area and are irreplaceable parts of its environmental heritage.

There are 42 Items of Environmental Heritage in Moruya listed in the Local Environmental Plan and 3 Items located at Moruya Heads (refer to Heritage Item map). There are opportunities to add additional buildings or places to the Heritage list.

It is recommended that the following buildings be further investigated for inclusion in the Local Environmental Plan:

Fmr St Johns School – Page Street

Weatherby's Boatshed – Vulcan Street

Moruya Showground – Poultry Pavilion

Residence - 17 Page Street

Monarch Hotel & Adjacent Shops

Single Storey Farmhouse - Princes Highway

Residence - "Yarragee" - end River Road

Federation Residence - River Road

Moruya Traders - Original Watter's Shop

Scout Hall - Queen Street

Dwyers Creek Village - Dwyers Creek Road

Dr Boots House - Yarragee Road

Lucks Cemetery - Yarragee Road

Stables - rear of Telstra exchange, Campbell Street

Residence - corner of Thomas and Campbell Streets

Residence - 79 Hawdon Street



Photo: Sacred Heart Church



Photo: Bed & Breakfast Campbell Street

Residence - 89 Hawdon Street

Former hospital – corner of Luck & Murray Streets

Dwelling adjoining Kiora cheese factory

Blacksmith's shop – South Head Road

Old swimming pool, Old Moruya Caravan Park

Former Flanagan's residence – Shore Street east

Mylotts Bakery, cnr of Queen and Vulcan Streets

Moruya Heads

Louttit's Residence - The Anchorage

Ziegler's Shed - 7 Albert Street

Dwelling – 361-367 South Head Road

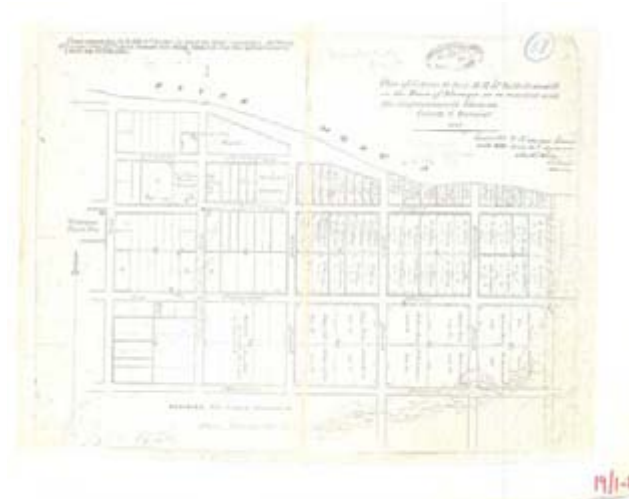


State Heritage Items:

Legal protection for heritage items in New South Wales generally comes from the Heritage Act 1977. Local Items included in the State Heritage Register are protected under this legislation. The Mechanics Institute building in Page Street is a State Heritage Item, with the Showground Pavillion recently nominated but not yet listed as such. The Mechanics Institute is the only State listed item in the Shire. Conservation Management Plans have been prepared for these two buildings.

Traditional Grid Structure:

Moruya was traditionally built using a grid structure overlay with the topography. This Plan requires new development/subdivision to build upon this traditional structure. It is essential to continue the grid pattern, allowing for topography to reinforce the existing 'country town feel' and character that is cherished by Moruya's residents. This also enhances connections between the new and older parts of Moruya, and facilitates efficient transport movements.



What is Council doing to promote Aboriginal heritage values?

Under the Natural Heritage Trust the Southern Rivers Catchment Management Authority (SRCMA), the Eurobodalla Shire Council and the Department of Environment and Conservation are conducting the Eurobodalla Aboriginal Heritage Study. The Eurobodalla Aboriginal Heritage Study is a three-year project that is being carried out in close consultation with Aboriginal community members and organisations in the Eurobodalla region.

This project follows the work completed from the Aboriginal Environment Education Project which received the State Landcare Indigenous Award in 2003. The project objectives for the Eurobodalla Aboriginal Heritage Study are based on a consultation process with the local Aboriginal communities.

The project aims to develop a better understanding of the Aboriginal cultural heritage in the shire through historical research and collection of oral history from Aboriginal people with connections to the Eurobodalla region. The study will record a wide range of heritage values of traditional, historic and contemporary importance to Aboriginal communities. It aims to develop ways of better managing these values in local planning processes.

The broader long term objectives of the project are to collate the oral history of Aboriginal people from the Eurobodalla; map sites of significance to Aboriginal people; develop strategies for conserving and restoring sites of Aboriginal significance and; develop and implement on-ground projects on Aboriginal Landcare.

The project objectives in more detail are;

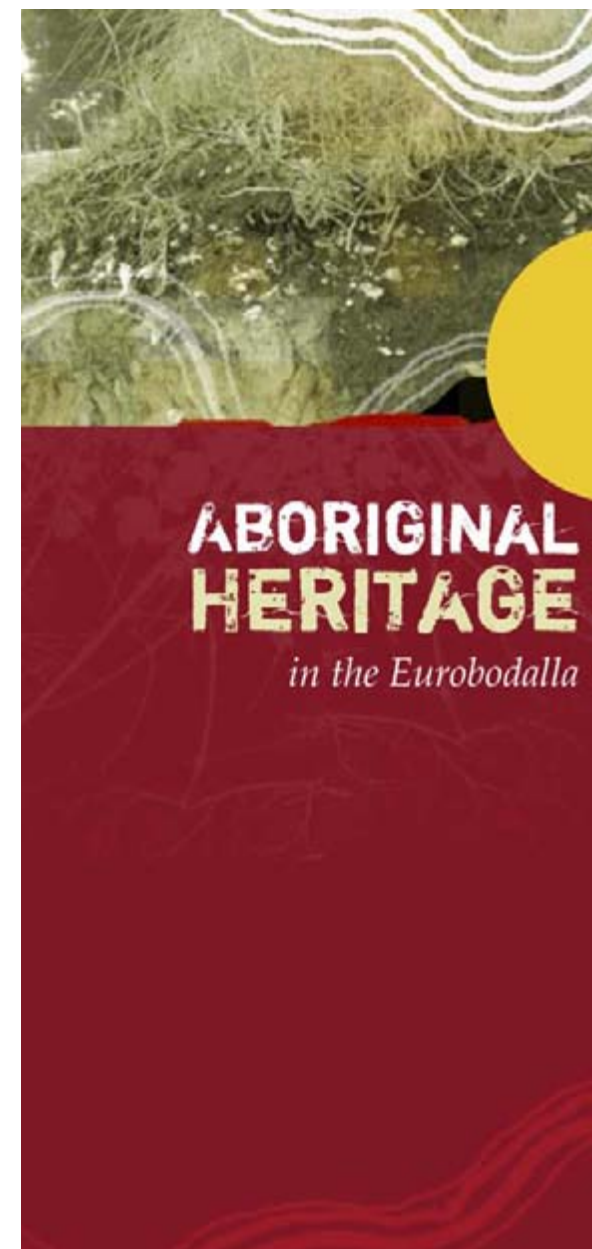
- To bring Aboriginal people together with stakeholders to discuss cultural heritage management.
- To develop an understanding of the perspective's of the Aboriginal community about heritage management and the continued use of land, sea and wild resources, and the identification of key environmental concerns in the study area.
- To collate and map valued places deemed useful for land and heritage management across the study area. These might include land tenure, land disturbance, known Archaeological Sites, archaeological landscape modelling, cultural sensitivity zoning, and post contact and contemporary places valued by community.
- To commence research into the historical and social context of the Aboriginal communities in the study area using a set of agreed themes to be determined with the community. This is to be commenced with the oral history collection from the Aboriginal communities.
- To use the information and project outcomes to guide future planning and improved cultural heritage management throughout the study area.
- To identify potential Aboriginal sites for priority conservation and Aboriginal Landcare works.
- To work cohesively with the Aboriginal Heritage Study for the Eden/Bega area.

This project began in order to raise awareness of Aboriginal history and Aboriginal connections to the Eurobodalla Shire. The original idea to undertake an oral history project to trace Aboriginal peoples historic connections to the area has transformed into a study relating to places of heritage value to Aboriginal people. The two ideas have in many ways been merged as the methodology employed to investigate places of importance to the Aboriginal community is based on an oral history framework.

The dedicated efforts of the Eurobodalla Aboriginal Heritage Steering Committee has kept the project on track and the field support offered by Local Aboriginal Land Councils [LALC] has ensured appropriate coverage and consultation.

Who was consulted with as part of this project?

Local consultation has involved all the Local Aboriginal Land Councils, Department of Environment and Conservation (DEC), Southern Rivers Catchment Management Authority (SRCMA) and Eurobodalla Shire Council.





The following notes are based on the Eurobodalla Aboriginal Cultural Heritage Study Public Report (Sue Dale Donaldson, Environmental & Cultural Services, July 2006).

The riverside township of Moruya contains a combination of interrelated places of Aboriginal cultural heritage, including burial grounds and ceremonial grounds. Many of these sites were subsequently destroyed during the course of the growth of the area. Moruya was an area with strong ties to recreation, employment and education for many Aboriginal people of Eurobodalla. Aboriginal families would camp at the Moruya Lagoon (in the vicinity of what is now Gundry Oval) and spear eels and fish.

Interlinked to the Moruya township area is Ryans Creek and the Moruya-Deua River. The Ryans Creek area is documented as being highly significant prior to contact, through to early contact and the present day. Cultural heritage themes relating to the early contact period involve burial sites, a ceremonial ground and possibly a massacre site. Aboriginal families would camp at Ryans Creek and collect an abundance of natural resources from the creek, river, riverbanks, and nearby bushland. The area continues to be valued today for its natural resources, and as a place to camp and teach cultural practices.

The Moruya-Deua River has a rich combination of value themes associated with the spiritual and economic importance the Aboriginal community places on the area. Mythologically, the Black Swans are said to meet at the Moruya River. The river is not only sacred due to the source of fish, but also due to the connection it provides to the land and the ocean.

Aboriginal people continue to maintain their connections to the Moruya area in a variety of ways, including participating in family gatherings, and making regular camping and fishing trips to places previously used by their ancestors.

Heritage Conservation Directions

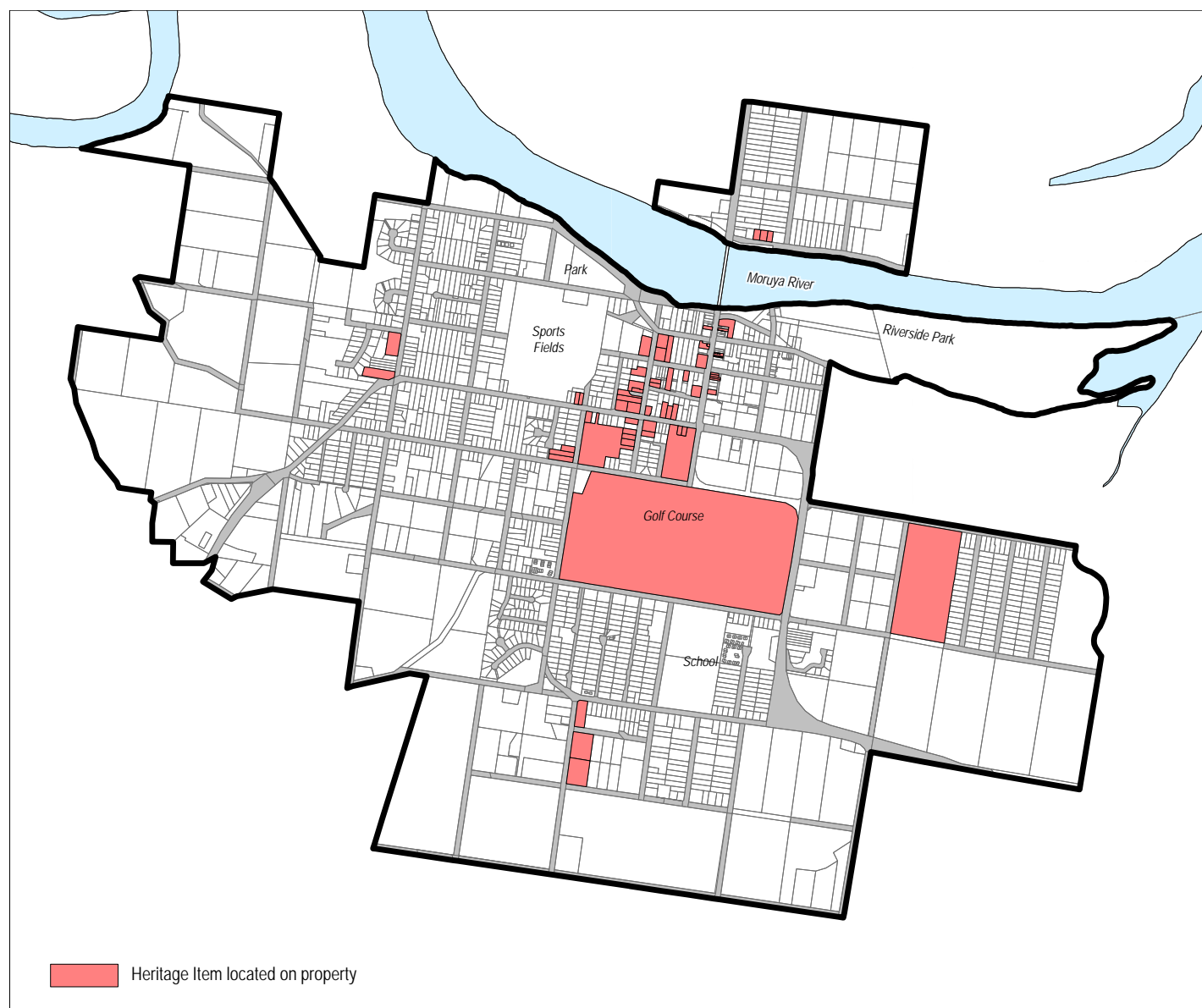
1. Investigate a Heritage Conservation Area listing in the New LEP for the area extending from the Main Street through to Page Street and extending from the River through to Murray Street.
2. New development is sensitive to the heritage character of Moruya, responding to the existing scale and proportion of the original buildings in and surrounding the town centre.
3. Building type and form is consistent with Moruya being identified as an Inland Coastal Town as defined in the Eurobodalla Urban Settlement Strategy. The heart of Moruya has high quality and intact heritage buildings that are maintained and enhanced.
4. Heritage buildings are retained and revitalised to tell the story of Moruya's growth through re-use and adaptation.
5. The main street has a mix of building types, including heritage buildings, shop-top housing, retail, commercial and educational buildings.
6. Development in the vicinity of heritage items responds to heritage protection controls, and reflects the value and significance of these items.
7. The original historic street pattern and character of streets is retained and enhanced. The street pattern is a traditional grid, adjusted for topography.
8. The list of Items for Further investigation be investigated for suitability for inclusion in the new LEP.
9. The Moruya Estuary Plan shall include a cultural heritage protection plan including the discussion and management of any issues affecting Aboriginal values/sites identified during consultation with the Aboriginal community.
10. Research historical suburb names within Moruya and erect signage.
11. Continue with Stage 3 of the Eurobodalla Aboriginal Heritage Study, commence review and implement the recommendations from Stage 2 of the Eurobodalla Aboriginal Heritage Study.



Photo: Mechanics Institute

Moruya Historical Society





Heritage Items

Page Street Special Character Area

The Page Street Special Character Area is a historic precinct of Moruya, characterised by a grouping of iconic institutional buildings comprising of churches, the Mechanics' Institute, the former Post Office and Shire Offices and early residences. The Special Character Area is located west of Vulcan Street and extends from the river south to Murray Street. This area is to be investigated for listing as a Heritage Conservation Area in the New LEP.

What is the area's significance?

The area is important for its associations with the consolidation of Moruya as a township, its associations with the development of education in Moruya and in supporting the activities of a number of community organisations.

The Page Street area is important in housing cultural assets of the Shire.

The buildings in the precinct have served a range of community activities. These include educational activities, recreational uses, community groups, religious instruction, meetings and activities, and military instruction. At their peaks, these activities reflected important aspects of the lifestyle of the town and district.

Constraints and Opportunities

- There is a lack of directional and interpretive signage. There is a need for identification sign at key buildings.
- Opportunities in the Implementation of the Mechanics' Institute Conservation Management Plan (CMP)
- Informal car parking in the grounds of the Mechanics Institute and RSL Hall has potential to compromise heritage values through erosion.
- Promote the area as not only a cultural precinct, but also as a tourist attraction, building on the Moruya Heritage Walk.



Heritage Item listed on property

Page Street

Principles

- Ensure new buildings and heritage buildings jointly contribute to Moruya's design quality.
- Enhance the cultural focus of the area. Permit the heritage buildings to be used as jazz bars, art galleries, performance venues and the like.
- Promote the Mechanics' Institute as a dedicated cultural venue.

Photos: Page Street Heritage Items



Special Character Area Directions

1. Apply a Heritage Conservation Area listing to the Special Character Area in the new LEP.
2. Install bollards/fence around curtilage of Mechanics' Institute to stop cars parking in foregrounds.
3. Promote the area as a cultural precinct in accordance with ESC Cultural Plan (2006-2010).
4. Implement the Mechanics' Institute Conservation Management Plan.
5. Prepare and apply design guidelines for development within the Special Character Area.
6. Interpretive and directional signage for the area will promote this Cultural Precinct for tourism and enhance the existing Heritage Walk with linkages to the Foreshore

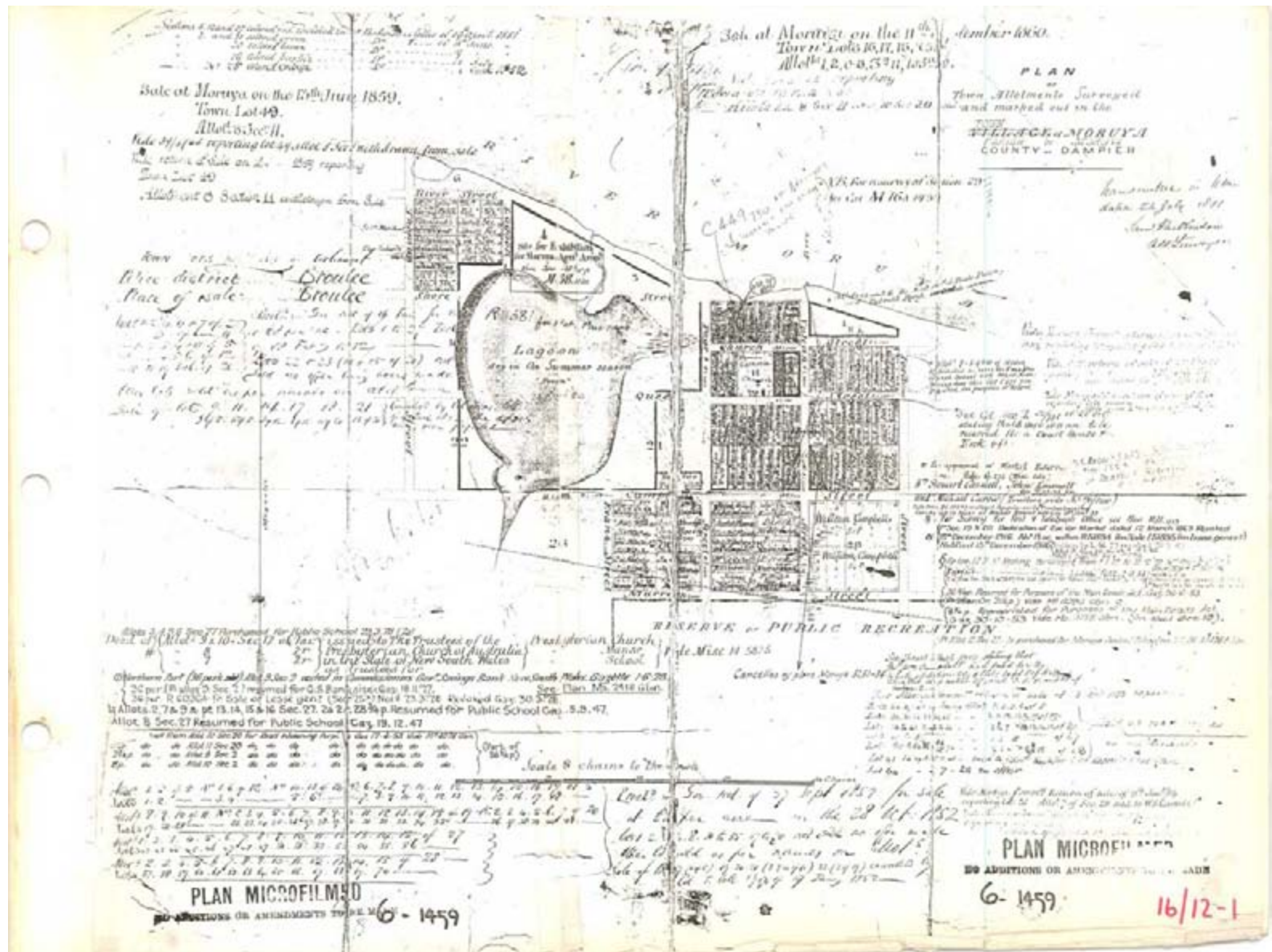


Photo: RSL Hall



Photo: Masonic Hall

1859 Plan of Moruya depicting early grid structure



Environmental Management

Protecting and enhancing natural areas in and around the town

Moruya is surrounded by areas of high environmental value including a beautiful river and estuary, protected wetlands and endangered vegetation ecosystems such as river redgums.

It is important that the natural areas in and around Moruya are protected and enhanced.

As part of the Eurobodalla Coastal Environmental Capacity Planning Project, Council developed a planning tool called Strategic Environmental Assessment (SEA). SEA enables Council to take a proactive approach to land use planning for Rural 1c and Urban Expansion lands to minimise environmental problems such as erosion, runoff, sedimentation, pollution of waterways, and loss of ecosystems resulting from developments.

Lands considered to have an “absolute environmental constraint” are considered non-development areas due to the potential for negative impacts on the environment. Absolute constraints were determined from analysis of environmental mapping data and these areas are considered to be sensitive to development or disturbance.

Absolute constraints are:

- Slopes >25%;
- Riparian vegetation zones;
- Extreme bushfire hazard areas;
- Natural drainage lines;

- Areas where soil moisture retention is >80%. This is referred to as soil wetness and is particularly an issue for on-site septic systems;
- Vulnerable vegetation; Threatened Species and Endangered Ecological Communities (EEC'S)
- Coastal Wetlands (State Environmental Planning Policy No. 14) - SEPP 14

Council is using this information to maintain and enhance the environment to ensure that the ‘Nature Coast’ retains its natural beauty now and in the future.

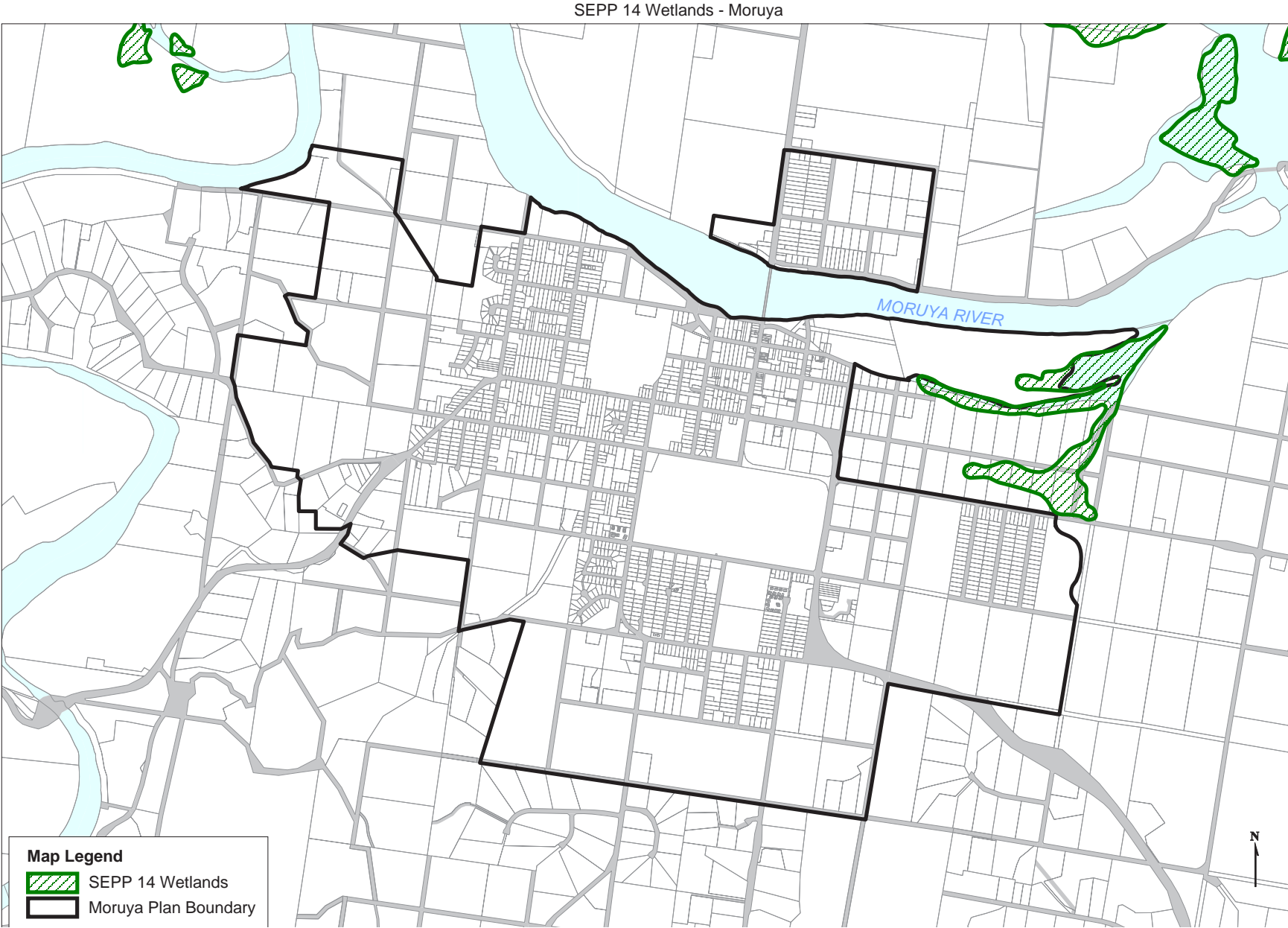
Principles

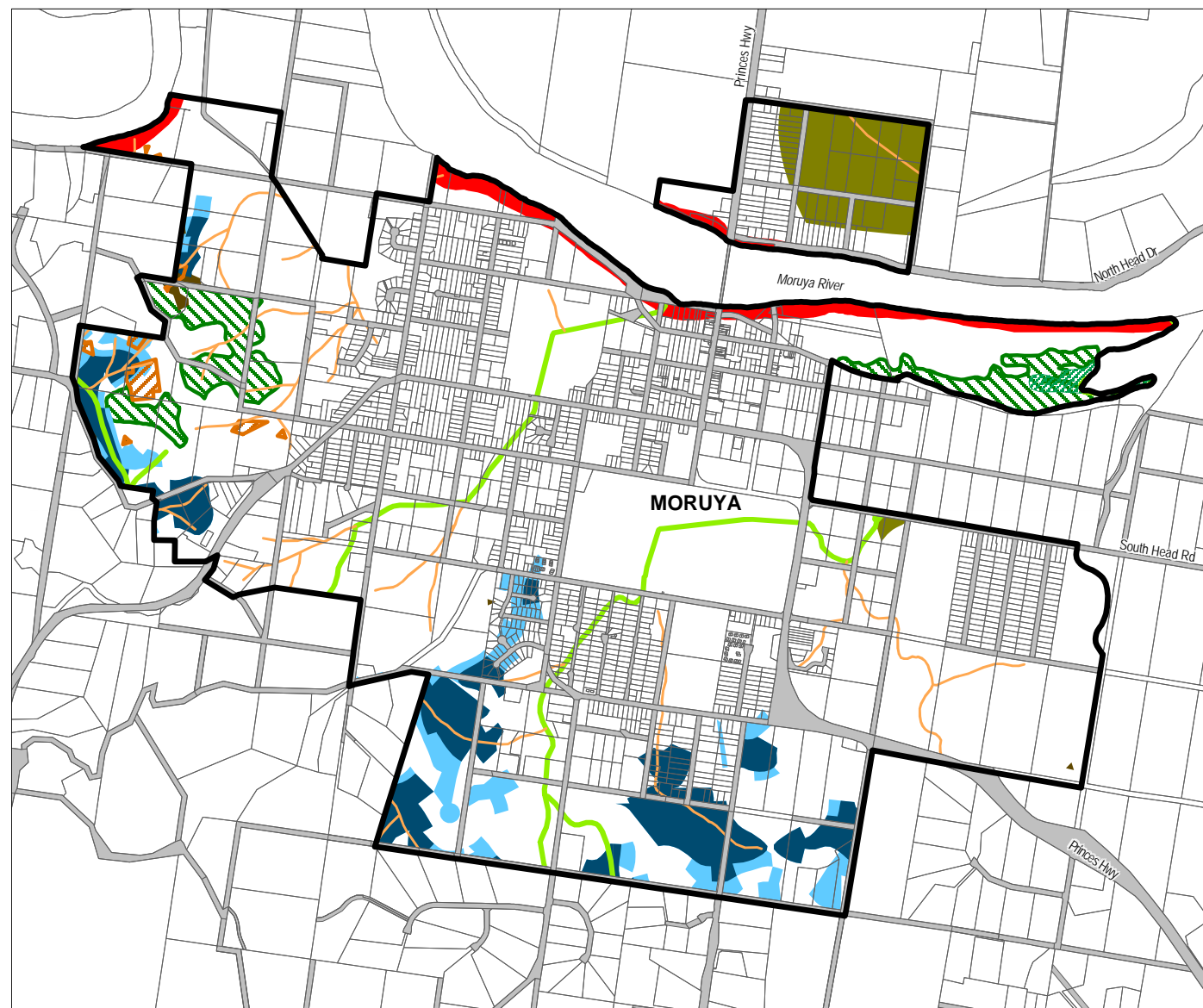
1. Ensure that the high environmental values of the area, which are closely linked to the high scenic values, are protected through appropriate planning.
2. Ensure that development and associated clearing does not compromise the identified environmental functions of waterways.
3. Protect and enhance the water quality of the Moruya River and other creeks in the area through planning controls.
4. Protect riparian corridors and fauna habitat linkage functions through planning controls.
5. Sustain environmental processes essential for maintaining areas of high scenic value and areas of environmental value.

Environmental Management Directions












1. All proposals assessed under the Moruya Plan are to be consistent with the goals and actions recommended in the Draft Moruya River Estuary Management Plan, the Independent Inquiry into Coastal Lakes (April 2002) and the Independent Review of the relationship between healthy oysters and healthy rivers (March 2003).
2. Utilise the Strategic Environmental Assessment (SEA) tool to determine absolute environmental constraints and development suitability of lands in the Moruya Plan area and ensure that all recommendations in the Moruya Plan are consistent with the SEA.
3. Protect areas with significant environmental values including riparian zones, urban buffers, fauna habitat linkages and native vegetation ecosystems.
4. Seek biodiversity certification in the new LEP for greenfield existing urban zones, urban expansion zones and rural residential zones, to remove the need for species impact statements associated with future development proposals on lands identified as having low biodiversity value.
5. Apply a riparian protection zone of 90 metres (where it can be achieved) to the foreshore of the Moruya River, to conserve ecological values.
6. Ensure that any recreational developments such as cycle paths are sited and designed such that they do not degrade environmental values, including riparian buffers, and dunal systems.
7. Implement the Plan of Management prepared for the Moruya Riverside Park that protects wetland areas.
8. Assess vegetation remnants in the study area for their potential to provide connectivity to other sections of native vegetation both along the river and to adjacent areas of forest. This would provide corridors, dispersal and migration routes for native wildlife in the area. Sections with high potential should then be planted with appropriate vegetation.
9. Apply Environmental Zoning to riparian corridors within the Moruya Heads Urban Expansion zone as per the Independent Panel Recommendations
10. Incorporate the actions of the draft Moruya Estuary Management Plan that is currently being prepared for the Moruya River.
11. Utilise riparian zones and public drainage reserves to re-establish habitat linkages within the settlement boundaries.







Constraints Legend

-  SEPP 14 Wetland
-  Soil Wetness > 0.8
-  1 in 5 Year Wetness > 0.8
-  Bush Fire Hazard
-  Acid Sulphate Soils
-  Slope > 15
-  Endangered Veg
-  DNR Riparian Category 1
-  DNR Riparian Category 2
-  DNR Riparian Category 3
-  Vulnerable Veg

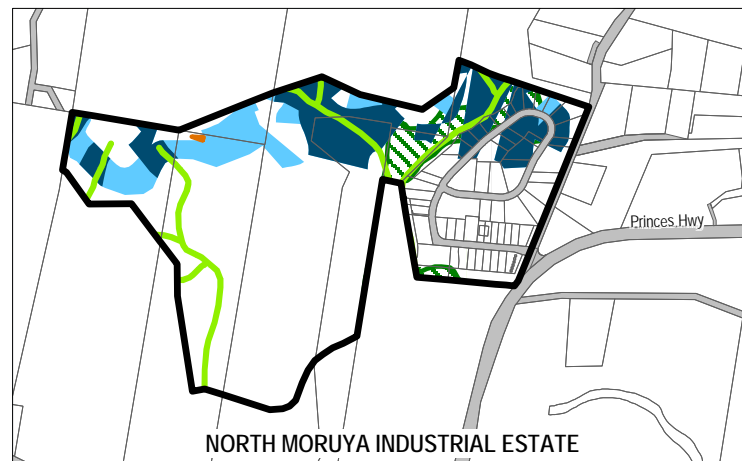
Environmental Management - Constraints

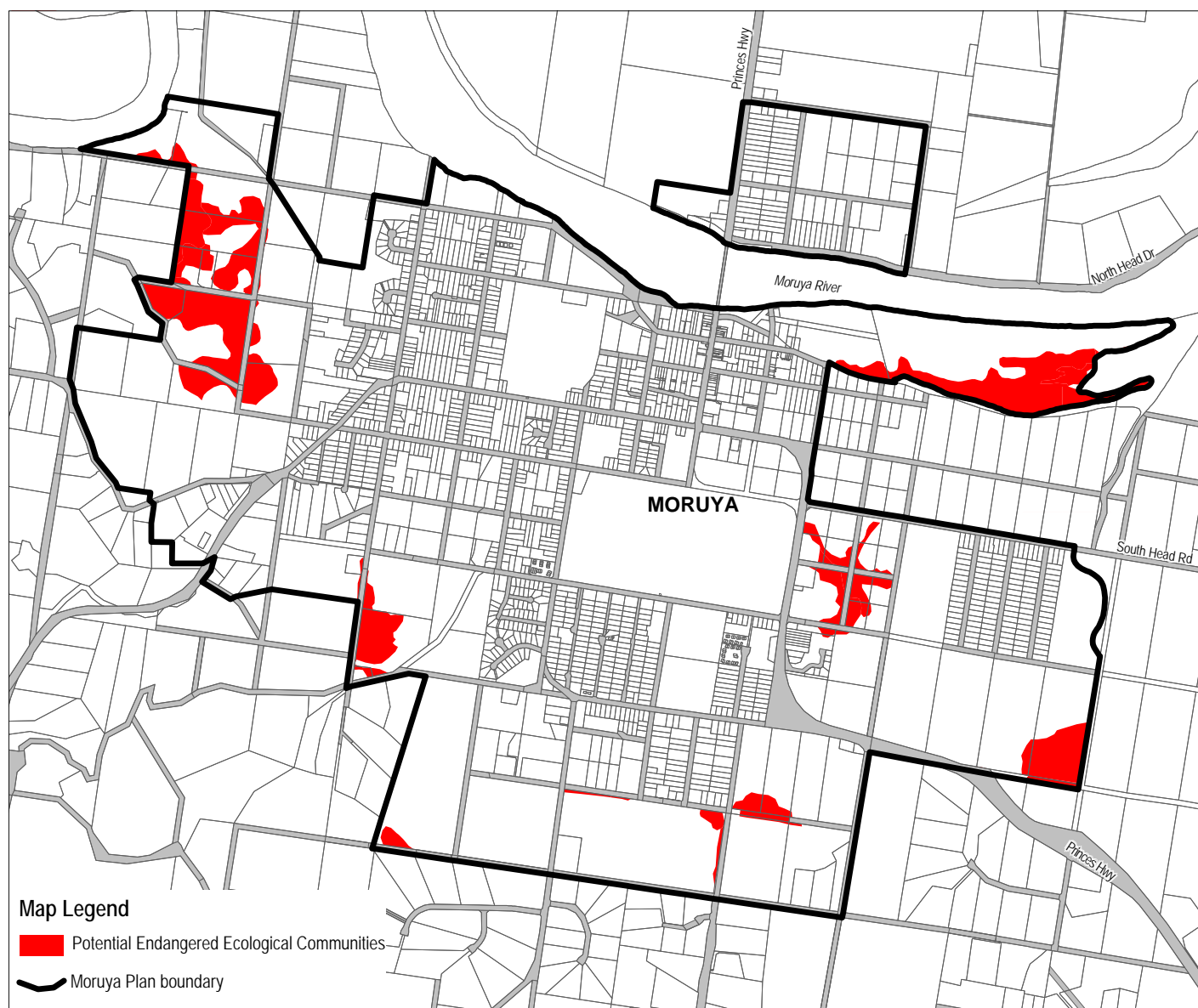


Constraints Legend

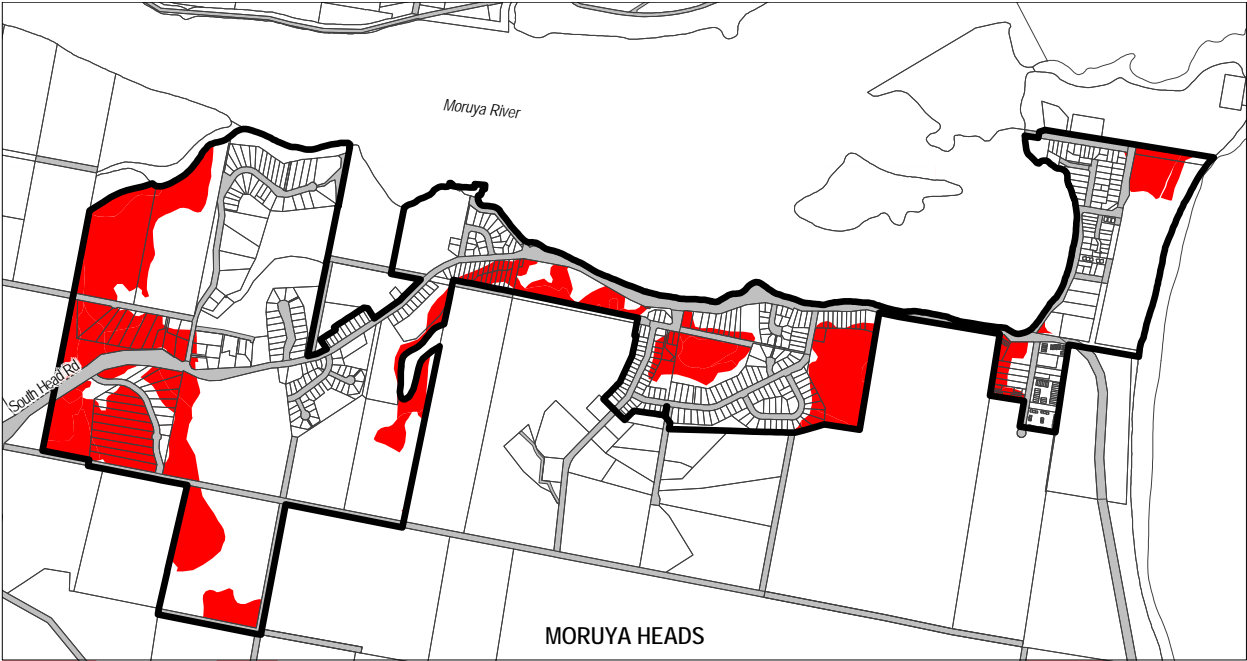
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Environmental Management - Constraints





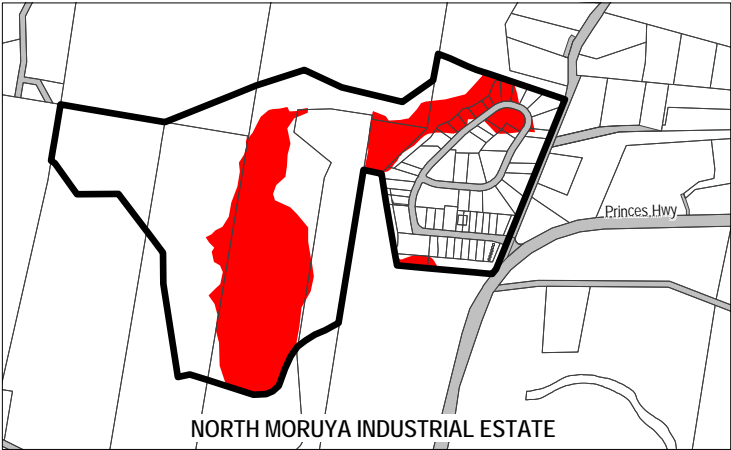
Potential Endangered Ecological Communities



Map Legend

- Potential Endangered Ecological Communities
- Moruya Plan boundary

Potential Endangered Ecological Communities



DNR Riparian Corridor Management Study (RCMS)

The sustainability and maintenance of riparian areas (rivers, creeks and drainage lines) within the Moruya study area is paramount in ensuring the ongoing environmental functioning of the estuary and in protecting water quality.

Riparian controls are needed to provide channel stability to creeks, drainage lines and waterways essential in maintaining the basic health of the catchment.

The Department of Natural Resources (DNR) undertook mapping of selected rivers and creeks to determine management options and provide initiatives for the protection and/or restoration of individual watercourses and their vegetated buffer zones, according to their relative importance and future function within a catchment.

The desk-top assessment involved an examination of the streams in relation to their:

- tenure (ie, the likelihood of development occurring);
- location of the stream in relation to remnant vegetation (ie, connections between areas of extant vegetation); and
- significance of the stream in relation to the whole catchment (eg, main arm, or a minor side branch).

Three (3) riparian categories were determined as part of this study. These categories reflect the waterway's relative environmental significance, and potential function within the landscape and are hierarchical, with Category 1 being of the highest value, and being achieved by a larger group of management requirements, and Category 3 being of the lesser value and being achieved by a reduced suite of management requirements as follows:

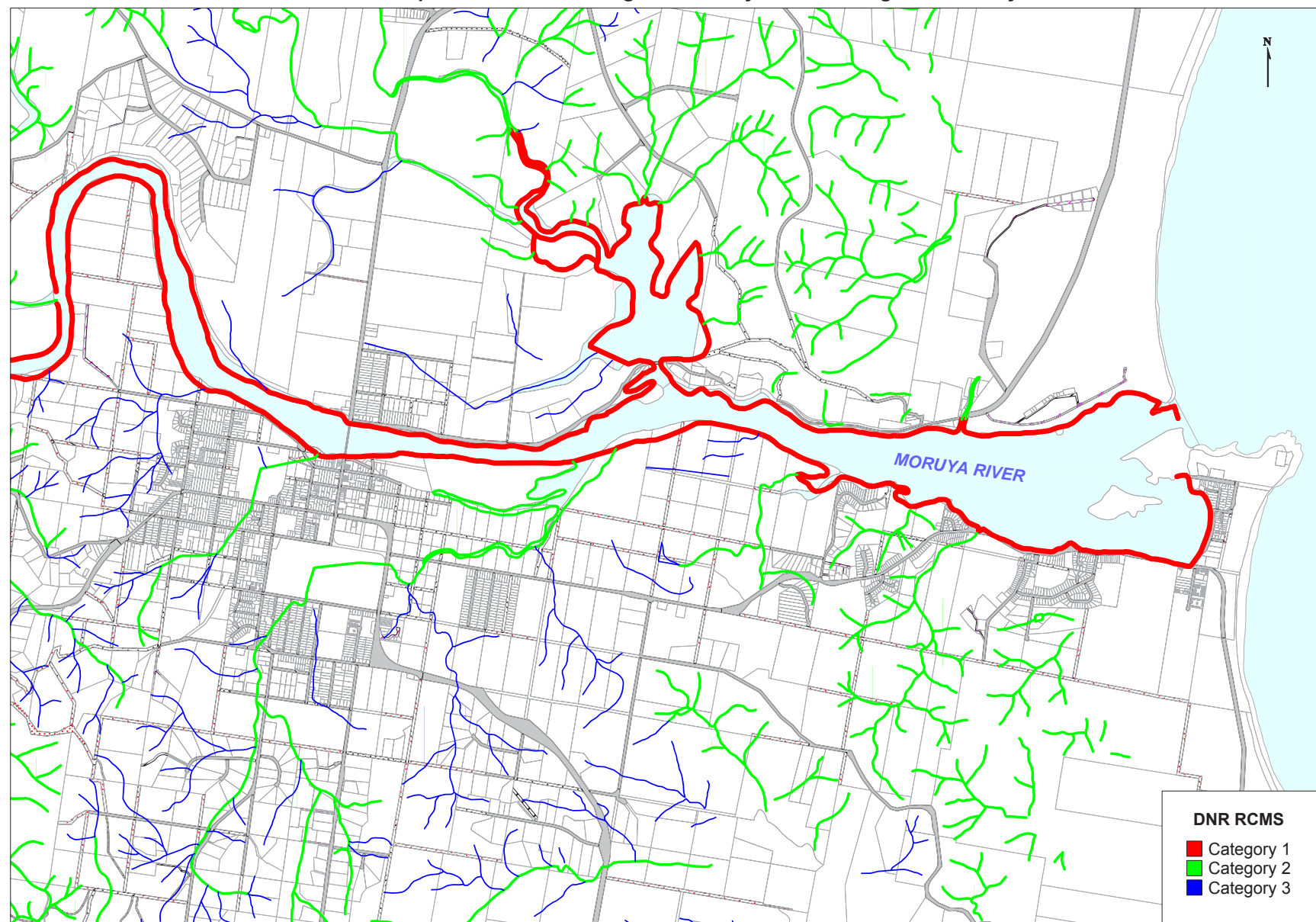
- Category 1 – Environmental corridor. The overarching objective is to provide biodiversity linkages by maintaining connectivity for the movement of aquatic and terrestrial species along the riparian corridor and between key destinations (eg, between bottom and top of catchment, between wetlands and large nodes of vegetation, etc).
- Category 2 – Terrestrial and aquatic habitat. The overarching objective is to provide basic habitat and preserve, or emulate as much as possible, a naturally-functioning stream (not necessarily linking key destinations). While accepting the width of the riparian corridor will not fully satisfy the requirements of a Category 1 – Environmental Corridor, the width must still be sufficient to provide long-term robust habitat and refuge for native fauna.
- Category 3 – Bank stability and water quality. As implied, the overarching objectives are to prevent accelerated rates of soil erosion and to enhance water quality. This Category may have limited habitat value but contributes to the overall basic health of a catchment. While an open water course emulating some natural stream function is the preferred option, it is recognised, for example, that the practicality and economics of developing urban land may make this difficult. It is this Category of watercourse where it may be possible to negotiate trade-offs.

Directions.

1. Provide channel stability of the creeks, drainage lines and waterways.
2. Protect water quality and maintain viability of riparian vegetation
3. Protect the natural environmental values and ecological processes within channels and waterways.
4. Apply the following controls where appropriate, having regard to ecological values and adjoining land uses:

Management Requirements and Minimum Environmental Objectives for Riparian Land	Category 1	Category 2	Category 3
	Environmental Corridor	Terrestrial & Aquatic Habitat	Bank Stability & Water Quality
Mapping Colour	(red)	(green)	(blue)
Delineate riparian zone on a map and zone appropriately for environmental protection	yes	yes	if resources are available
Provide a minimum Core Riparian Zone (CRZ) width (* 80 m from top of bank for large waterbodies such as lakes, bays and estuaries)	40 m from top of bank*	20 m from top of bank	usually 10 m from the bank
Provide additional width to counter edge effects on the urban interface (ie, Vegetated Buffer)	10 m	10 m	generally not required
Provide continuity for movement of terrestrial and aquatic habitat	yes (including pierced crossings)	yes (with appropriate crossing design)	where appropriate
Rehabilitate/re-establish local provenance native vegetation	yes	yes	where appropriate
Locate services outside the Core Riparian Zone wherever possible	yes	yes	merit consideration
Locate playing fields and recreational activities outside Core Riparian Zone	yes	yes	merit consideration
Treat stormwater runoff before discharge into the riparian zone or the watercourse	yes (outside CRZ and buffer)	yes (outside CRZ and buffer)	yes

DNR Riparian Corridor Management Study Stream Categories - Moruya



Natural Hazards

The Moruya River, as well as a number of tributaries and natural drainage gullies, presents a hazard to development in times of flood. It is important that the risks associated with flooding and the economic, environmental, social and safety implications are mitigated.

The highest recorded flood, which occurred in 1925, is believed to have reached a level of approximately 5.4m AHD at Moruya Bridge. This flood was followed by two severe floods in 1963 and 1975. Since then, relatively minor floods have occurred in the Moruya River, and although primarily affecting agricultural land, these floods have had an impact on the entire community.

The Moruya Valley Floodplain Development Control Plan was adopted by Council on 23 November 2004. The DCP sets out Council's requirements for future development on flood affected land in the lower Moruya River Estuary.

What will be done to address climate change?

This Plan supports various steps to address climate change. Global temperature change is now recognised as a scientific reality.

Eurobodalla Shire Council is committed to addressing this issue in a planned and positive way. Global changes to climate are the result of higher concentrations of greenhouse gases that trap infrared radiation in the Earth's atmosphere, causing the lower atmosphere to become warm.

A report prepared for Kiama Council by the CSIRO in March 2005 predicts that the Kiama region is likely to experience increases in temperature of between 0.5 C and 1.5 C by 2030. The study area extended down to the north head of the Moruya River, covering approximately half of the Eurobodalla Shire Council area (CSIRO, 2005).

Decreases in rainfall are likely, with the most pronounced decreases in winter and spring. These changes are coupled with expected increases in evaporation (due to higher temperatures), fewer cool spells and more warm days and hot spells. These projected climatic changes can reasonably be expected to occur in Eurobodalla Shire. The report also predicts that there is likely to be a marked increase in the intensity and frequency of extreme daily rainfall events, with modelling indicating that there will be a decrease in rainfall extremes in winter and increases in summer.

The CSIRO report predicts the following impacts of climate change on the south coast of NSW:

- Warmer conditions, changing rainfall patterns, the fertilising effect of increased atmospheric carbon dioxide levels, higher demand for water and fewer frosts would affect agricultural productivity and the types of crops able to be grown locally.
- Higher evaporation rates would mean less water for dams and catchments, reinforcing the need to use water more efficiently.
- Significant changes in local biodiversity are likely to occur, due to higher temperatures, increases in atmospheric carbon dioxide, decreased rainfall, an increased incidence of bushfires and changes in pests.
- A greater number of hotter, drier days and increases in forest biomass are likely to cause larger, more intense bushfires.
- An increase in the frequency, duration and intensity of heat waves would increase the risk of health-related problems and may assist the spread of some diseases.

- Effects on the design and performance of infrastructure, buildings and other physical assets. Coastal areas may be particularly affected by sea-level rise, increased temperatures and changed storm events.

Council's response to climate change is to plan for identified risks by maintaining natural processes and systems and avoiding exposure to risks associated with climate change and to accommodate the potential impacts of climate change in the design and siting of building infrastructure (See ESS Actions NH1- NH5).

What is Council doing to reduce Greenhouse Gas emissions?

The Greenhouse Action Plan has been developed as part of Council's participation in the Cities for Climate Protection (CCP) program. Eurobodalla Shire Council joined the Cities for Climate Protection (CCP) program in 2005. The CCP program is a local greenhouse action initiative administered in Australia by ICLEI – Local Governments for Sustainability. Through a five-milestone framework, the program assists local governments to reduce their greenhouse gas emissions from both in their own operations and the community's activities.

The Greenhouse Action Plan is Eurobodalla Shire Council's local response to this increasingly urgent global issue. It describes the Shire's greenhouse emissions profile, both corporate and community. It also identifies the steps that Eurobodalla Shire Council will take to reduce its greenhouse gas emissions, thereby helping to stabilise global carbon emissions and slow and minimise the effects of climate change. This includes actions to reduce emissions from our corporate activities, including the operation of community buildings, water and sewerage infrastructure, streetlighting, waste and our fleet. The Plan also highlights a number of ways that Council can support and facilitate greater

energy efficiency and innovation within the broader Eurobodalla community.

As part of the CCP program Council has set short term corporate and community emissions reductions targets of reducing greenhouse gas emissions by 25% by 2012. Council also formally endorsed the community's "50/50 by 2020" vision on 7 November 2006 (Minute PM06/136). This included that Council commits to:

- in principle support for a target 50% reduction in Greenhouse Gas Emissions by the year 2020;
- in principle support for sourcing 50% of Council's energy requirements from ecologically sustainable renewable sources by the year 2020; and
- Encouraging Shire industries and households to embrace the targets of '50/50 by 2020'.

By endorsing, in principle, the community's "50/50 by 2020" vision, Council has showed support for community aspirations to transform the energy and emissions base of Eurobodalla Shire in the longer term. It should be noted that all of the targets contained in this Plan have been developed to primarily provide guidance and vision to Council and the community, and are not mandatory targets. They have been established to primarily deliver direction and impetus to Council and community policies, programs and projects that have energy and climate impacts into the future.

Refer to Council's draft Green House Action Plan for a comprehensive list of initiatives council is undertaking to reduce greenhouse gas emissions.

Natural Hazards Directions

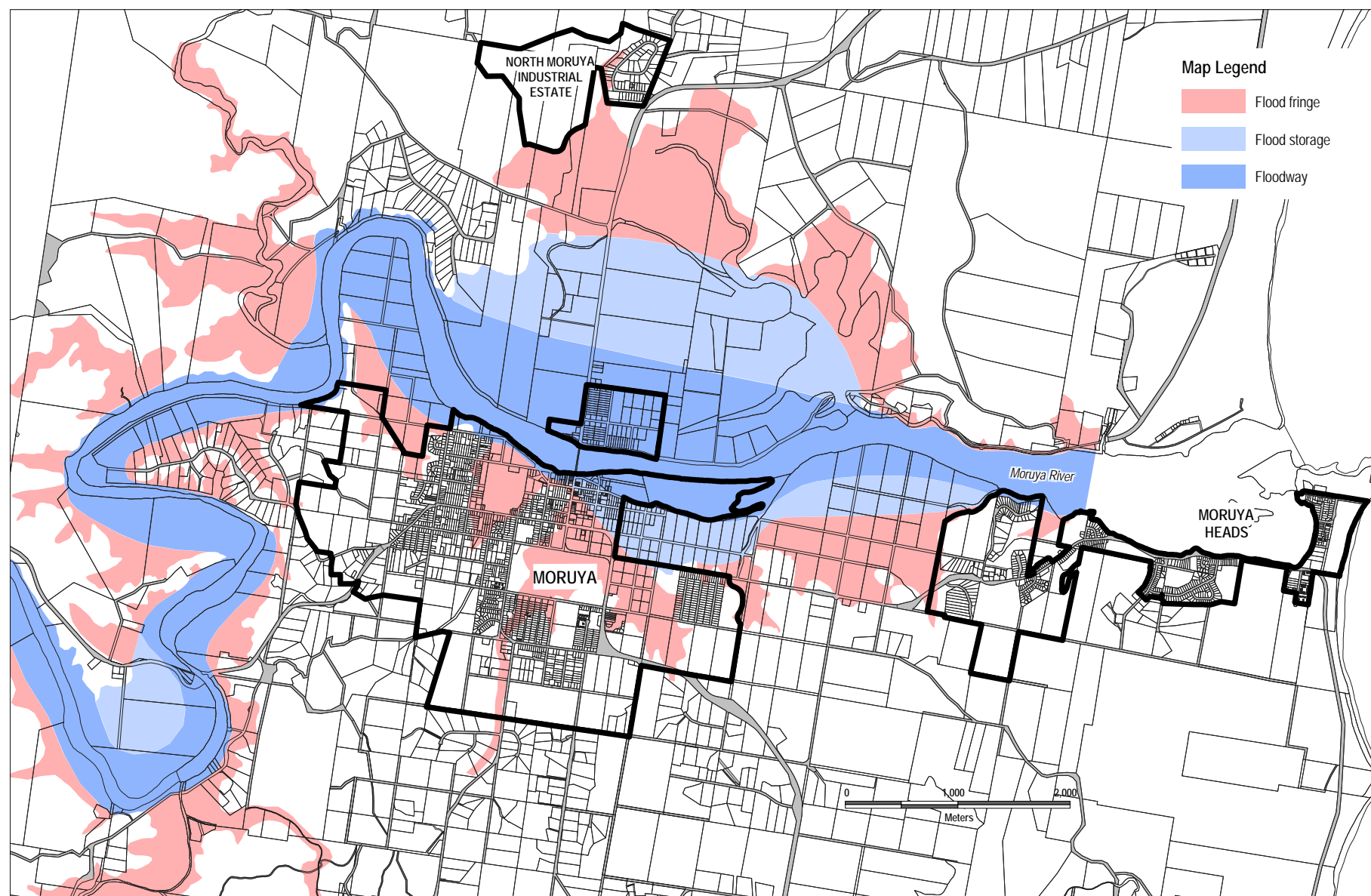
1. Give statutory effect to the objectives contained in Council's Moruya Valley Floodplain Development Control Plan 2004.
2. Minimise the impact of flooding and flood liability on individual owners and occupiers, and reduce private and public losses resulting from flooding.
3. Ensure construction and development is compatible with the risk of the area.
4. Ensure that buildings and other structures built on flood affected land, where permitted, are designed and constructed to withstand the likely stresses of the attributed flood hazard and not impede the flow of floodwater in high-risk areas, including the impact of debris.
5. Ensure that development on flood affected land does not, singularly or in concert with other development, adversely affect flood behaviour.
6. Recognise and consider the cumulative impact of development within the floodplain.
7. Ensure that development is not permitted on flood-affected land where that development would result in unnecessary risk to emergency services or unwarranted public cost, in the event of these services being called upon during a flood event.
8. Ensure that all development permitted within flood-affected land and where identified by the Moruya Valley Floodplain Development Control Plan 2004, is complimented by the preparation of a flood evacuation plan.
9. Acknowledge the river corridor as an ecologically-sensitive area and ensure adjoining development recognises and enhances the high visual and biological quality of the river corridor.

Climate Change Directions

1. Respond to identified risks by maintaining natural processes and systems, and avoiding exposure to risks associated with climate change.
2. Accommodate potential impacts of climate change in the design and siting of buildings and infrastructure.
3. Apply a restrictive zone to prohibit development in high-risk areas and limit the types of development allowed in high to moderate risk areas by zoning that land for recreation, open space or public uses that reduce the potential impacts of hazard events.
4. Prepare a development control plan specifying design and siting controls for development in hazard affected areas based on the assessed risk in moderate and lower risk areas.

Greenhouse Gas Emissions Directions

1. Implement Council's Greenhouse Action Plan.
2. Endorse the 50/50 by 2020 vision.



MORUYA RIVER FLOOD HYDRAULIC CATEGORY MAP

Retail Development

Moruya's town centre is located adjacent to the Moruya River and is bounded by Page Street, Campbell Street and Ford Street. The main street is Vulcan Street; a north-south aligned street that is part of the Princes Highway. Vulcan Street is the main shopping and commercial street in the town centre.

Moruya's retail and service sector is predominantly oriented to the needs of the permanent residential population. Banks, building societies and professional services are chiefly located in the main street, as is the town's department store. Retail outlets are evenly distributed around the centre, with bulky goods retailing and car sales located towards the southeastern perimeter. Its overall character is that of a country town that services the surrounding rural districts, and which provides a place for people to meet. This authenticity is becoming an attraction to visitors who seek places that have a sense of place reflecting its inhabitants. This plan recognises the importance of allowing for economic growth without compromising the town centre amenity.

In accordance with the *Shire Retail Policy & Guidelines Review 2006*, Moruya has adequate zoned business land to meet current and future needs. Considerable intensification (whilst still maintaining the low-scale feel of the town) is possible on land currently used for automotive and machinery uses and the like. Further eastward expansion of the town centre is not necessary at this time.

In relation to Moruya Heads, the Retail study states that a small mixed business/general store is appropriate towards the western end of the Moruya Heads area to service the residential expansion from the urban investigation areas. The small scale of the business would not undermine the core retail function of Moruya Town centre.

Moruya's commercial/retail core is based around the historic main street. This main street is an economic asset for the town. The historic buildings and 'traditional main street' retail experience set Moruya aside from other conventional retail centres. These values need to be reinforced.

Are there any plans for North Moruya?

There are no plans to rezone land in North Moruya. The land falls within the floodway of the Moruya River and is affected by a Section 117 Direction issued by the Minister of Planning. Then Section 117 Direction states that:

'Draft LEPs shall not:

(i) rezone flood liable land from a zone described as special uses - flood liable, rural open space, scenic protection, conservation, environment protection, water catchment or coastal lands protection, or by a similar description, to a zone described as residential, business, industrial, special use, village or by a similar description; or

(ii) contain provisions which apply to flood liable land and which:

(a) permit a significant increase in the development of that land

(b) are likely to result in a substantially increased requirement for government

spending on flood mitigation measures, on infrastructure or on services or

(c) permit development to be carried out without development consent, except development for the purposes of agriculture (not including dams, drainage canals, levees, building or structures in floodways, high hazard flood storage areas) minor development and additions as defined in the Flood Plain Development Manual.

3. Land defined substantially in accordance with the principles contained in the Floodplain Development Manual as high hazard flood liable land or as floodway shall be zoned in draft LEPs as special uses -high hazard flood liable or special uses floodway, rural, open space, scenic protection, conservation, environment protection, water catchment, or coastal land protection, or as a zone having a similar description.'

In accordance with the 117 Direction above, there is no change proposed to the existing rural zoning of the North Moruya land.

It is important to respect the historic qualities of the town centre, in particular, those of the main street. There are opportunities to foster a stronger sense of connection with Moruya's past by retaining and respecting significant elements of the built heritage and character within the town centre. New development is expected to be of high quality and provide a strong civic presence evidenced by the historic buildings in the main street.

The major feature of the main street is its historic buildings and its function as a place for people to meet. There is opportunity for the traditional shopping strip in Moruya to be enhanced as a tourist attraction. This can be achieved by ensuring that the "authenticity" of Moruya as an inland coastal town is maintained.

Within the town centre it is important to locate active uses at ground floor (street level) for example shops, entry doors, foyers, cafes and restaurants. There should not be any blank walls, carparking or garaging fronting the street. This is required to activate the street frontages, provide public surveillance and a sense of safety and contribute to the vitality and visual interaction of the town centre.

In order to create a pleasant pedestrian environment, the provision of weather protection is vital. In core retail areas, new development should provide verandahs or awnings over the footpath. This will compliment those remaining awnings attached to historic buildings.

It is important to define opportunities to optimise pedestrian movement throughout the town centre. There is opportunity for streetscape and public domain improvements along Shore and Queen Streets. These streets could be landscaped and pedestrian footpaths widened to create a boulevard effect. Queen Street is important in connecting the main street with retail precincts at

the eastern end of the town centre. Shore Street is a foreshore street and offers excellent visual aesthetic, river views and vistas and access to Riverside Park. With appropriate urban design and streetscaping, these streets could improve the utility and amenity of the town centre. To ensure that the Moruya town centre continues to thrive, it is important that the following principles are applied:

Principles

- Locate commercial, retail, social, cultural and recreational uses in close proximity in order to provide a compact and robust town centre core, provide commercial advantages for a range of business sizes and types and provide most town services within a maximum radius of 400m to encourage walking and cycle use.
- Encourage mixed-use developments within the town centre, in particular shop-top housing, residential flats and tourist accommodation.
- Enhance mainstreet shopping for locals and as a tourist attraction.
- Reinforce the importance of the main street as a primary characteristic of the town.
- Create opportunities for informal gatherings, such as markets and festivals.

Good planning in the past has resulted in the Moruya town centre being well serviced by a number of public and private car parks behind the Main Street. Future parking needs should be considered in the context of improvements to other modes of travel and aim to discourage excessive and unnecessary car trips. In order to reduce the reliance on the use of private cars, adequate parking should also be provided for bicycles.

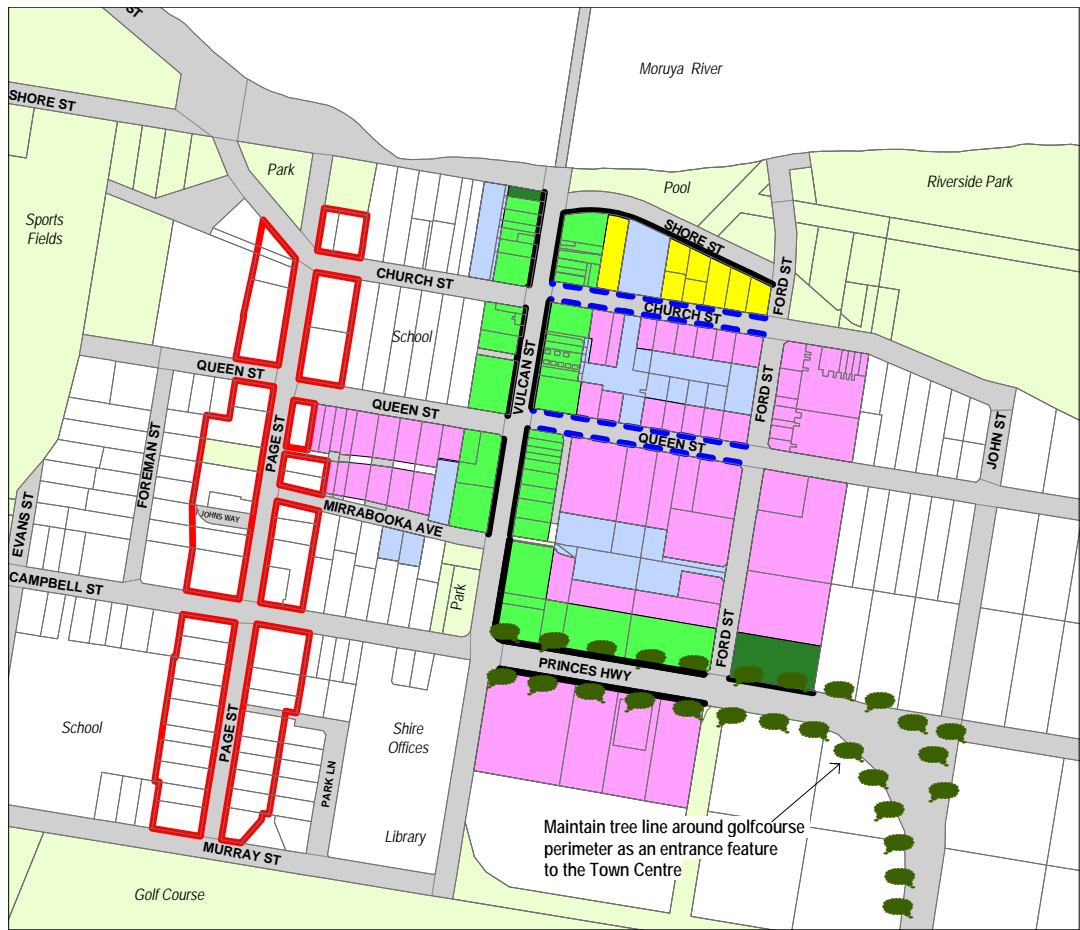
There are a number of possible redevelopment sites within the Moruya town centre, including the Luhana Motel site, the village Shopping centre, Adelaide Hotel car park and Allen's store site. Redevelopment of these sites would need to provide active street frontages and enhance the built form and streetscape of the Moruya town centre.

It is important that future built form and streetscaping responds to the unique attributes of the town centre through responsive design. The local environment and unique natural features, including the river and mountains and Moruya's indigenous and European heritage, will inspire the built form. The future built form will maintain significant views and vistas to the river and mountains. It will respond to climate, orientation, topography and site conditions and is designed for energy efficiency and waste reduction. New development creates a human-scaled environment providing physical and visual links to the river.



Retail Directions

1. Ensure that the overall provision of land identified for commercial purposes is in balance with community and market needs and is consistent with the recommendations of the Shire Retail Policy & Guidelines Review 2006.
2. Vulcan Street is to be retained and reinforced as the Main Street.
3. Maintain the dominance of small retail outlets within the historic Main Street.
4. Accommodate large floor-plate retail uses within the town centre where such development does not compromise or dominate active street frontages.
5. Nominate land along Shore Street (east) as a tourist precinct. Investigate the suitability of tourism zoning over this land.
6. Target a site at the eastern end of the town centre as a potential cultural facility.
7. Install traffic calming devices along Shore street (East) to slow traffic speed and promote the enhancement of the pedestrian environment along Queen and Shore Streets by:
 - widening footpaths
 - adding pedestrian crossings
 - reducing traffic speed
8. Support public art initiatives that reflect Moruya's association with its river.
9. Council supports through private developments, the extension of the public domain such as footpaths and open space areas which may be leased for alfresco dining or to house public art, complementing private floor space uses. This approach can create variation to setbacks to the street.
10. Require, by way of development controls, active street frontages at street level. No blank walls, accommodation or car parking.
11. Car parking to be located to the rear of lots.
11. Ensure the heights of buildings are consistent with the low-rise character of the town centre and respect heritage buildings in the locality.
12. Require new development to include purpose-built office accommodation within the upper level or at ground level (where this does not compromise the active street frontage).



Moruya - Town Centre

Map Legend

- | | |
|---|-------------------------------|
| Entry Site - special design conditions apply to new development | Car Parks |
| Main Street Precinct | Page Street special character |
| River Foreshore Precinct - Tourism | Zero building line |
| Retail - Mixed Use | Future landscaping |



Retail Precincts

Vision

The Moruya Town Centre will evolve as a high-amenity, mixed-use residential and employment area. New development will be sympathetic, respectful and interpretive of heritage characteristics.

Vulcan Street will contain a mix of heritage buildings interspersed with infill development and refurbishment. Infill development respects the 19th century built form but does not replicate it.

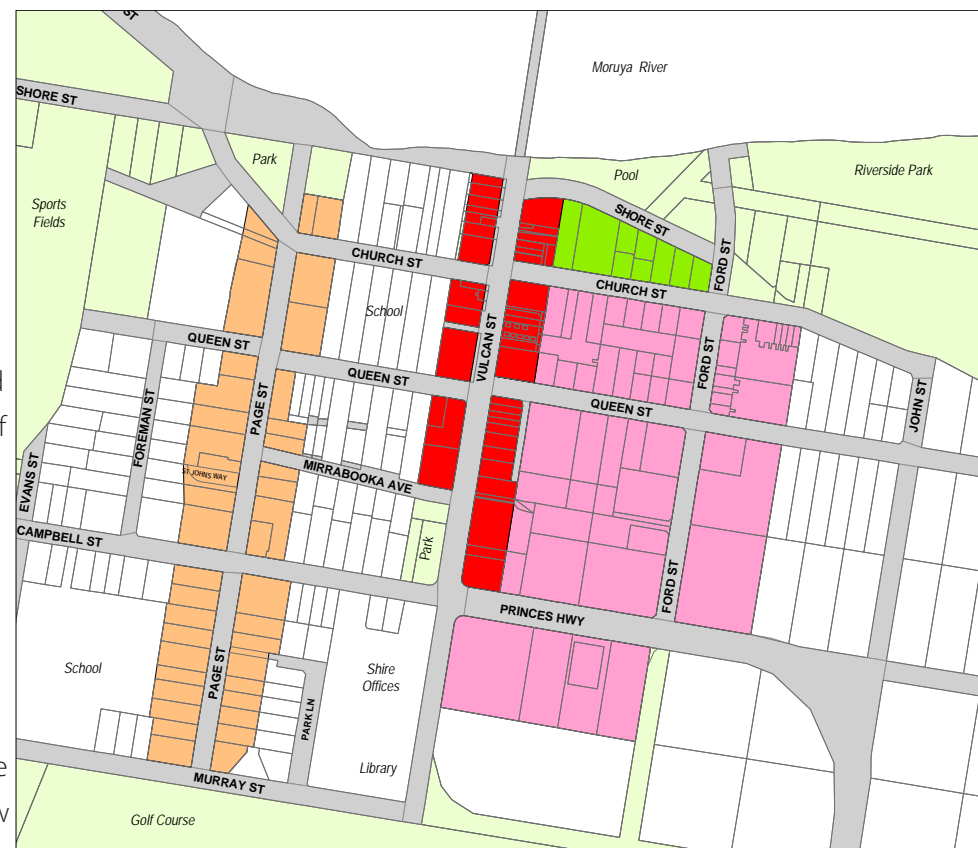
The streets running from Vulcan Street to the east are streetscaped to achieve their full potential. Combined with measures to reduce heavy vehicle traffic and with the addition of street planting and wider pedestrian verges, the amenity of these streets is substantially improved.

Buildings incorporate awnings and active street frontages, contributing to high levels of pedestrian amenity.

Precincts

The town centre has been divided into 4 precincts to allow for more detailed analysis and recommendations and acknowledging that each area of the centre has a different role and function. The vision for each precinct is contained below and actions to achieve the vision are identified.

Precincts Map



Moruya - Town Centre Precincts

Map Legend

- Precinct A - Main Street
- Precinct B - General Retail
- Precinct C - Tourism
- Precinct D - Page Street Heritage Items

Precinct A - Main Street



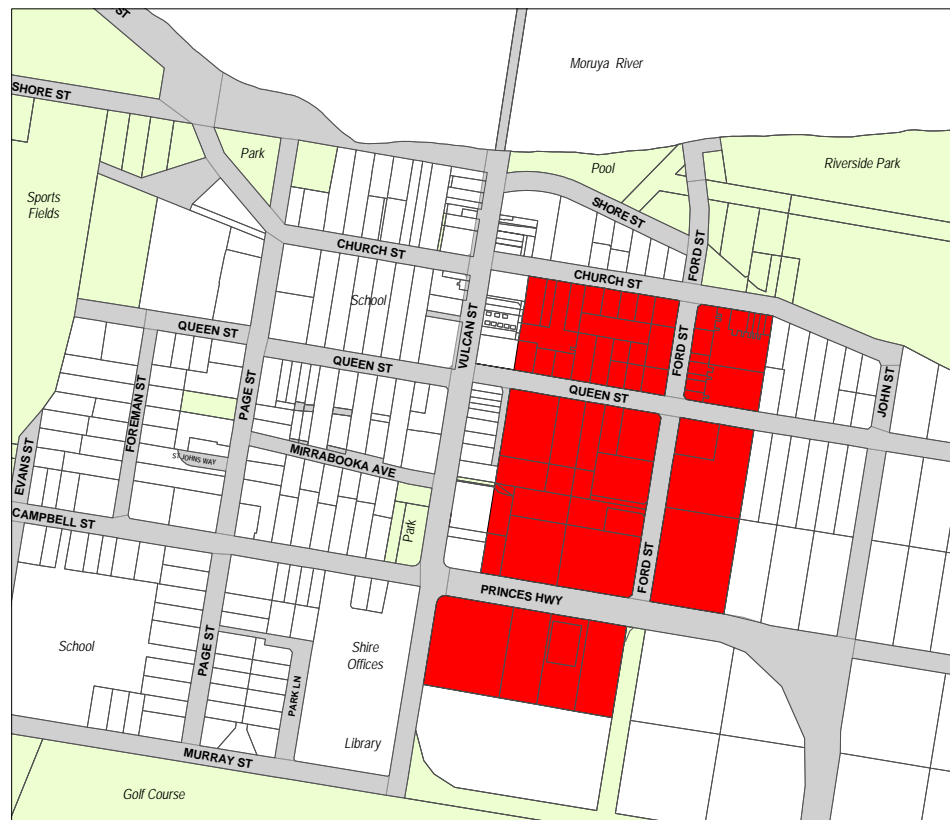
Vision

The main street will provide a vibrant heart to the town centre. It will contain a mix of specialty retail, commercial, boutique shopping and café opportunities that appeal to both residents and visitors. Building frontages will be active and interesting, encouraging walking, browsing and socialising in the street. Shops are the preferred use for Vulcan Street, however, offices and other professional uses will also be located in the precinct, but in upper floor locations.

Actions

- Encourage building owners and business operators to refurbish building frontages regularly and restore heritage facades through the provision of advice, information and assistance where possible. Promote the Heritage Fund assistance to facilitate the restoration and reuse of heritage buildings.
- Require new development to provide verandahs or awnings to improve the pedestrian amenity of the main street.
- Regulate signage to reduce visual clutter and ensure that architectural features of heritage buildings are not compromised.
- Maintain the dominance of smaller retail outlets (fine-grain) in the main street.
- Require active street frontages along the main street.
- Encourage outdoor seating, creating a vibrant social culture
- Capitalise on the 'niche' market that the traditional main street shopping experience offers.
- Promote main street shopping as an attractive alternative to the conventional mall-type shopping experience.

Precinct B - General retail



Vision

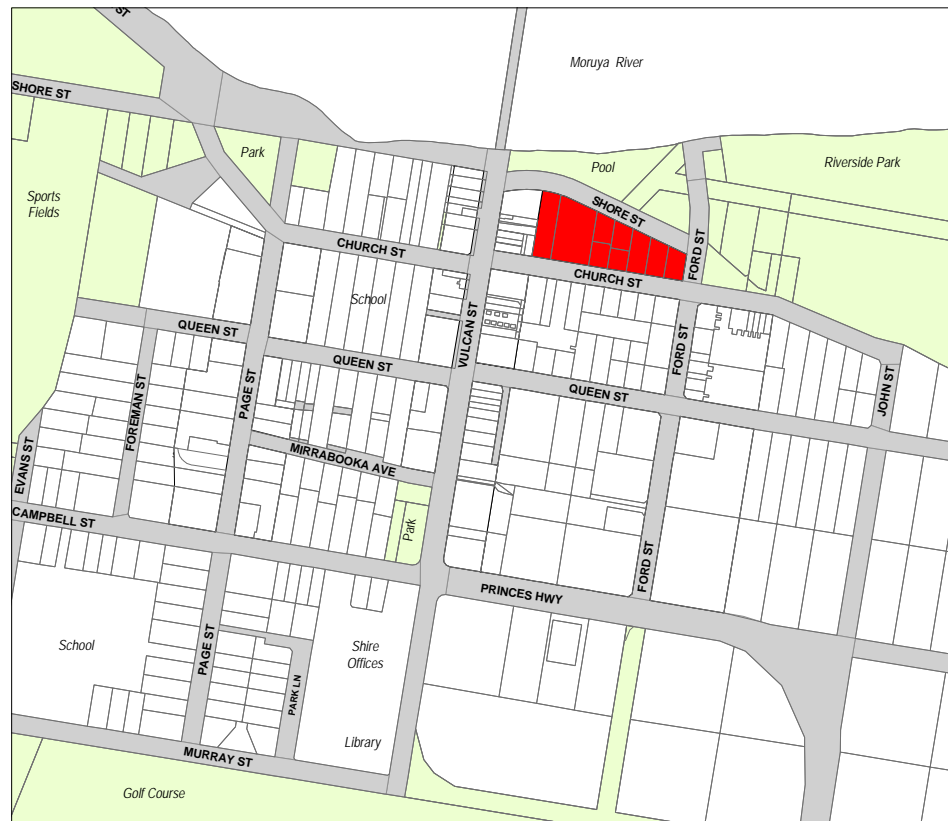
This precinct provides a range of retail and service functions that complement the Main Street. Retail uses typically found in the town centre, such as weekly or fortnightly shopping trips, will continue in this precinct. Examples include supermarkets, convenience shops (eg, Chemist, newsagency, bakery, etc.), comparison shopping (eg, clothing, footwear, household wares, jewellery) and personal services (eg, video hire, hairdresser, florist, drycleaner and the like).

Building frontages will be active and interesting, encouraging walking, browsing and socialising. Residential and tourist accommodation will intersperse with retail and service industries, adding an extra dimension to town life. Public facilities and cultural facilities will be located here, forming a compact and robust town centre.

Actions

- Allow mixed-use development
- Provide shop-top housing/apartments.
- Landscape Queen Street to provide a tree-lined boulevard.
- Ensure that large-plate retail is well designed, has zero street setbacks and an active street frontage. Car parking is located to the rear of the development.

Precinct C - Tourism



This precinct refers to the land fronting onto the river foreshore located in Shore Street east extending to Riverside Park.



Vision

Visitor accommodation will be plentiful, providing a new dimension to Moruya's town centre.

Shore Street is enhanced with tourist-related uses, restaurants, boutique shops, outdoor seating and four-star or greater tourist accommodation taking advantage of the views along the river and the sunny northerly aspect. The tourist accommodation and outdoor dining give greater life to the town centre outside of business hours. The flood freeboard is incorporated in an innovative way into the design of new buildings as an elevated outdoor terrace fronting the river.

Actions

- The area is zoned to allow for tourist-related uses, including tourist accommodation, shops, etc.
- This precinct is not to be developed for permanent residential (mixed-use). Permanent residential accommodation is permitted only if in conjunction with tourist accommodation.
- Amalgamation of lots is encouraged to ensure continuity of the foreshore streetscape.
- To ensure the foreshore streetscape is uninterrupted, access and servicing of development shall occur from the rear of sites (Church Street).

Precinct D - Page Street Special Character Area



Vision

Many historic buildings from different eras contribute to the identity, interest, and amenity of the Page Street Precinct. Page Street becomes the cultural hub of Moruya. Through the adaptive reuse of heritage buildings, jazz bars, art galleries and performance venues thrive and the area is promoted as a designated cultural precinct.

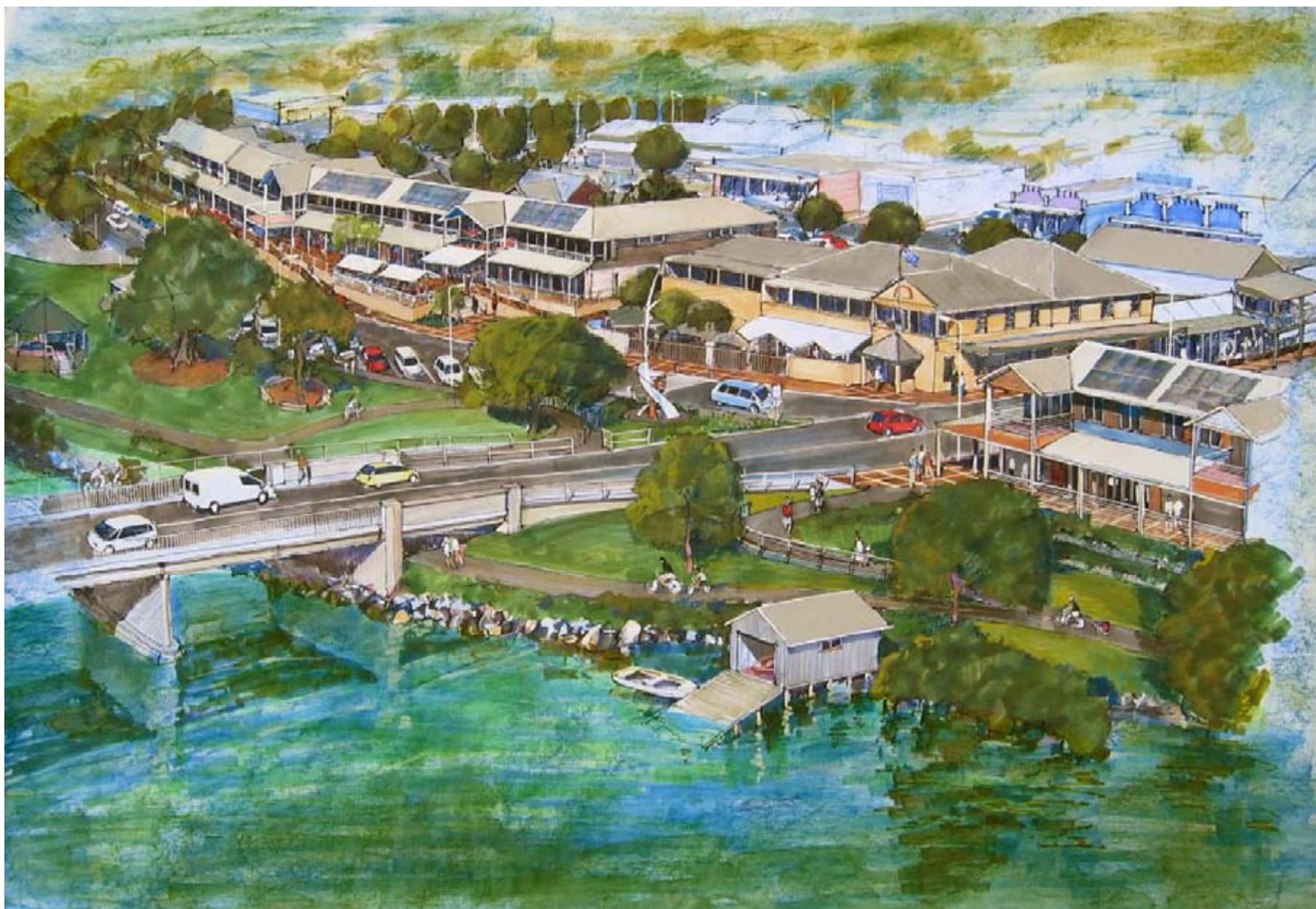
Actions

- Infill development in Page Street is respectful of the area's historic values.
- Cultural uses are encouraged in this precinct as well as at Riverside Park.
- Please refer to the Special Character Area Directions on page 88 of this document.





Artist's Impression - Future development potential for the "Gateway redevelopment site"





Artist's Impression - Future development potential for the "The Allens" redevelopment site and Queen Street landscaping

Industrial Expansion

To ensure sufficient employment lands are available in appropriate locations to accommodate growth in existing and emerging industries and business.

The existing industrial areas within the Shire are characterised by a predominance of retail or semi-retail activities. Many of the businesses now operating within the industrial zones are a mix of retail and manufacturing/warehousing and in some cases purely retail. The limited number of properties within the Batemans Bay industrial area for example, where such properties enjoy highway exposure are now dominated by retail functions and are operating as an extension of the town centre commercial precinct. With commercial land able to attract higher rents and value, new industrial businesses are finding it increasingly difficult to establish in these areas.

Factors such as, increased traffic movements, expectations of higher servicing and increasing rent levels also impact on existing businesses within the industrial area, who in turn may seek to re-locate or struggle to continue operating in a less than ideal environment.

It is important to ensure that sufficient employment lands are available in appropriate locations to accommodate growth in existing and emerging industries. Council recently prepared an Industrial Lands Audit. This audit has identified that industrial land is in short supply across the Shire, particularly in the northern district and that opportunities to expand this supply with serviced, accessible flat land are limited due to topographical and environmental constraints. Expansion of the North Moruya industrial area would satisfy the demand for industrial land in both the northern and central districts.

It is proposed to rezone land at North Moruya to industrial to facilitate expansion of the existing industrial land and to alleviate the critical shortage of industrial land across the Shire and facilitate economic development.



Are there any changes planned for the Yarragee Industrial Estate?

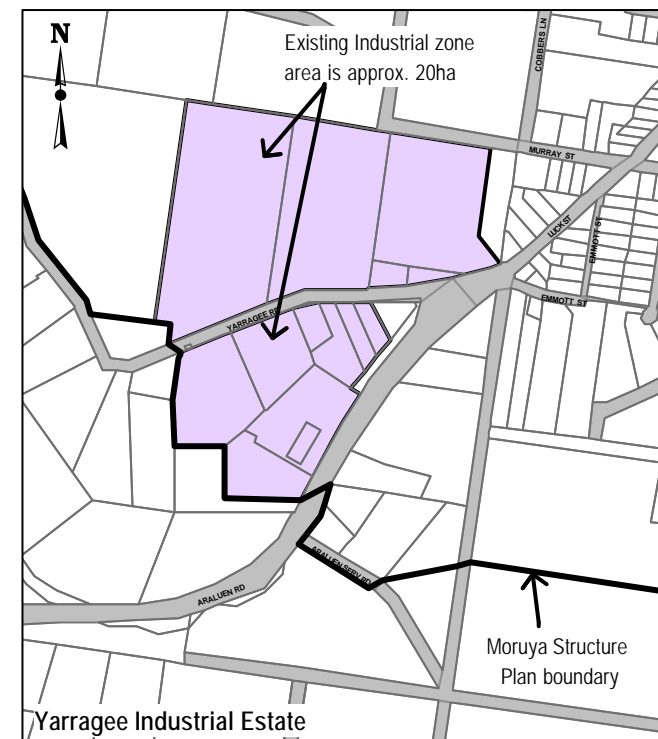
The Yarragee industrial estate comprises approximately 20 ha of industrial zoned land on the southwestern edge of the settlement boundary (refer map page 118). Given the topographical constraints of the Yarragee land and the proximity to the adjoining rural residential living, there are no plans to extend the Yarragee Industrial estate. Once the land is fully taken up, it is expected that new business will locate to the North Moruya Industrial Estate.

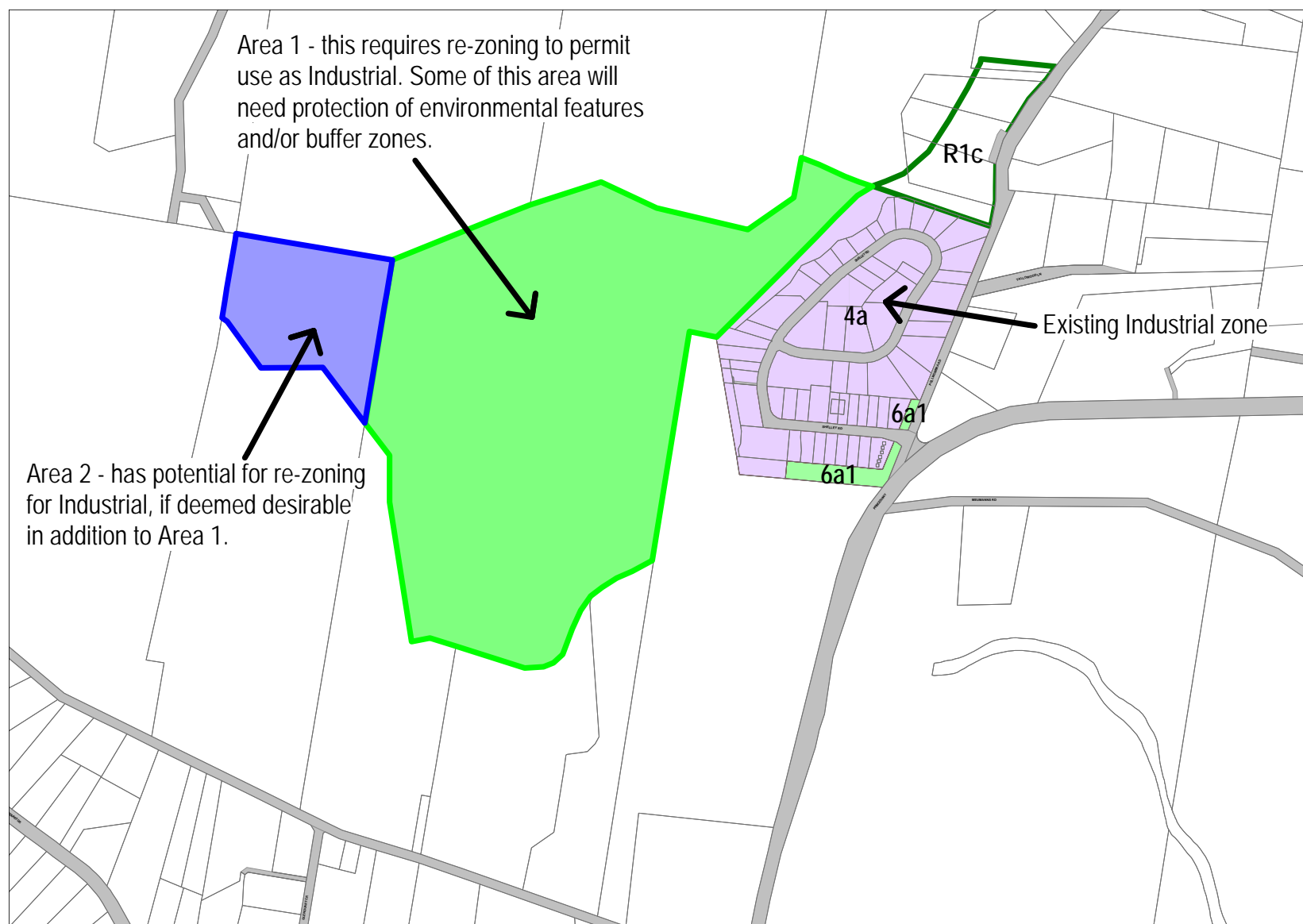
Principles:

- Ensure that adequate serviced land is available for employment generating businesses and that these areas are best located to serve the needs of industry and service providers.
- To ensure there are opportunities for diverse and emerging employment generating businesses.
- To ensure existing and future employment activities can continue and establish unencumbered by conflicting land uses on adjoining land.
- To ensure that the location of areas for the expansion of industrial land has minimal environmental impact, requires minimal structural alteration to accommodate the built form and makes optimal ongoing use of existing infrastructure.

Directions:

1. Proceed with proposed rezoning of rural land at North Moruya to industrial.
2. Determine appropriate buffers to industrial zoned land to prevent conflict with adjacent land uses, such as residential and open space. Incorporate these buffers in the integrated LEP.
3. Apply a warehousing, manufacturing and assembly zone to apply to the existing North Moruya industrial estate and to the proposed expansion of that estate.
4. Prepare a development control plan specifying energy efficiency, waste management and water conservation standards for industrial development.
5. Establish a Resource Recovery Park that demonstrates conservation of resources through efficient waste management practices and acts as a catalyst for the creation of feeder businesses.





OPTIONS FOR EXPANSION - NORTH MORUYA INDUSTRIAL ESTATE



Residential Development

The quality of the residential stock within Moruya is varied. Excellent examples of original early 1900's housing are found in Page Street. Other areas of housing constructed post war through to the 1970's are varied in quality but generally provide good amenity for individual owners and occupants.

According to the latest Australian Bureau of Statistics, 85% of the population of Moruya live in separate houses. Therefore, Moruya has limited medium-density residential development and lacks a variety of housing types that are generally well-designed and responsive to the streetscape and immediate urban area.

It is important that new residential development and land use provide housing choice that matches the housing needs of the local community, maintains the area's high quality living environments and strengthens the area's sense of identity. This plan supports a diversity of housing options and accommodation types, densities and residential allotment sizes. These are to be provided in appropriate locations to cater for the accommodation needs of residents through each stage of their lives.

The following principles are essential in order to ensure that the above-mentioned needs are met.

Principles

- Ensure that affordable housing options are available, including appropriate housing for renters, first-time homebuyers and the moderate to low-income housing market.
- Provide a wide choice of housing caters for a full range of household types, life stages and income levels.

- Encourage affordable housing located close to transport facilities, community facilities and services, open space and recreation areas and education and employment opportunities.
- Ensure residential neighbourhoods have a sense of place based on their location, residential nature, topography, natural environment, built form and proximity to the town centre.
- Provide a range of lot sizes and layouts in new subdivisions to ensure a suitable range of housing options.
- Require generous road reserve designs so there is enough space for the safe, efficient and attractive provision of pedestrian and cyclist facilities, necessary utilities and mature street planting.
- Preserve heritage dwellings, and require new development to be sympathetic to the aesthetic and environmental values provided by heritage buildings while ensuring contemporary housing blends in and contributes to the character of the area.

According to the land availability and new dwelling requirements data provided in Section I, there is adequate existing vacant land and urban expansion land existing within the settlement boundary to provide housing for the central District until 2031.

This projection is based on numerous assumptions. For example, it is assumed that 10% of new dwellings will be dual-occupancy units and 5% will be medium-density units.

Moruya is relatively flat in topography and, with high-quality subdivision and building design, can accommodate medium-density development in a way that

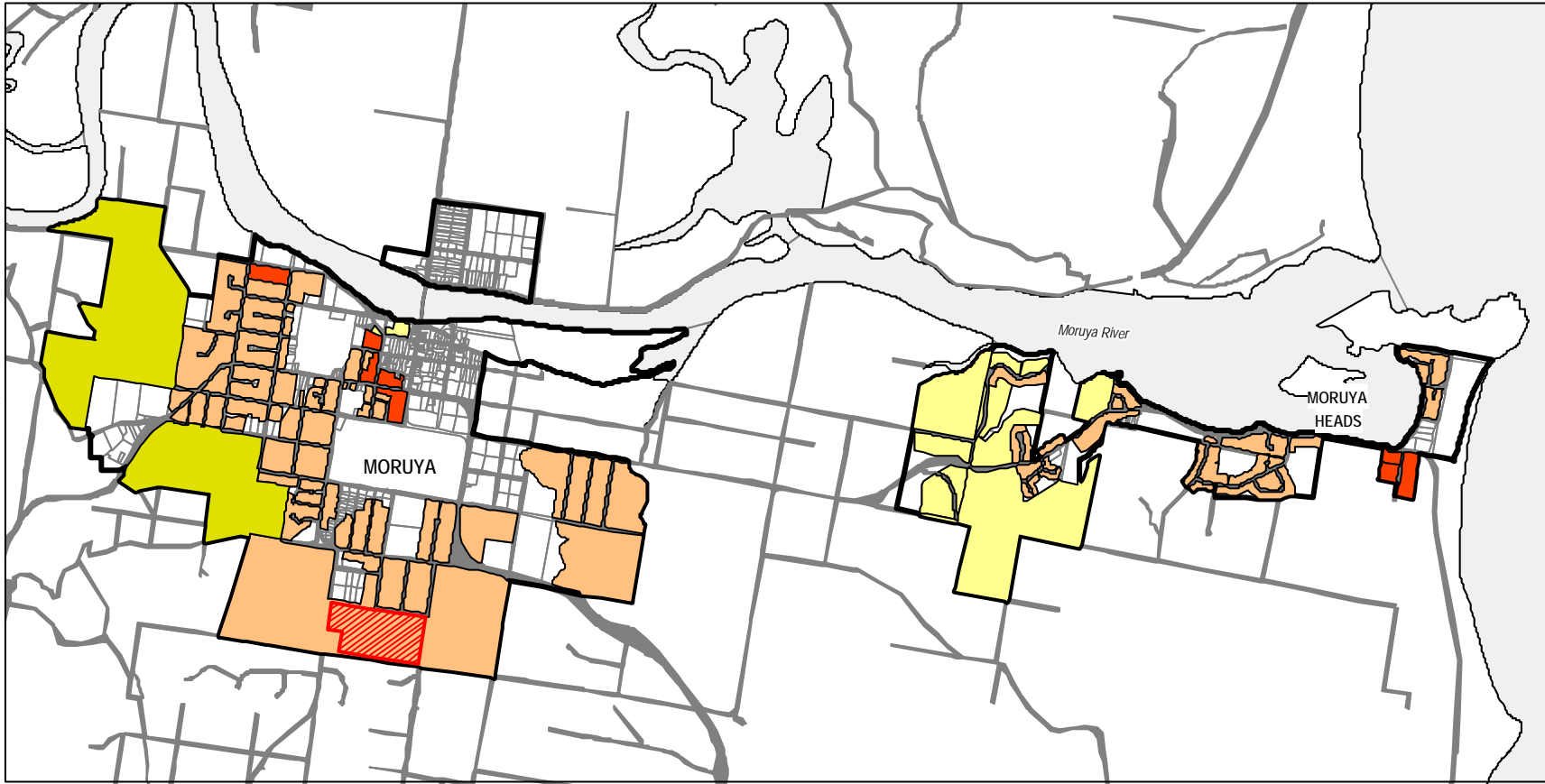
would not detract from character.

This plan also promotes the location of mixed-use development within Moruya's town centre. It acknowledges that a wide choice of housing is responsive to the community's needs for a full range of household types, life stages and income levels.

The Community Reference Group supported integrating housing into the town centre through new mixed-use development and adaptive use of existing buildings (ie, Shop top housing). This type of development brings people back into the town centre, places eyes on the street and strengthens community. It provides centrally-located housing for youth, the aged and persons without access to private motor vehicles. This plan encourages mixed-use development within the town centre, having in regard to the need to protect heritage values.

Residential Development Directions

1. Provide for expansion of the settlement into the south and west urban expansion areas.
2. Tourist accommodation and permanent residential accommodation is interchangeable throughout the residential zones.
3. Locate mixed-use buildings within the town centre, including shop-top housing.
4. Promote a range of lot and household sizes to allow for housing choice and affordability, and to meet the varying demands of a changing society.
5. Improving coastal building design and construction by promoting "Nature Coast Style Guide" to new release areas.
6. Maintain a generally low-rise built form, whilst allowing for a range of housing types and densities in appropriate areas.
7. Identify land suitable for affordable housing in close proximity to the town centre and apply bonus development incentives.
8. Apply Moruya Style building guidelines to enhance local character.
9. Developers and builders are assisted in meeting design guidelines.
10. New developments are energy-efficient, diverse in style and designed to be adaptable to a range of uses over time.
11. Medium-density housing principally occurs in town and is strategically integrated and well-positioned. Medium-density housing does not impact negatively on the residential amenity, heritage attributes and character of the area. (Refer to densities map).
12. Setbacks and scale are such that the height of buildings does not dominate the street, and retains a human scale and quality.
13. Include principles in a development control plan to encourage the development of modular housing and other adaptable housing options that can cater for families at various stages of life.



Residential Densities

Map Legend

- Large Lot Residential
- Environmental Living
- Low Density Residential
- Medium Density Residential

Glossary of Future Zones

- Low Density - this zone is comprised predominantly of single dwellings in a low density environment
- Medium Density - this zone allows for residential flat buildings providing a variety of housing types within a medium density residential environment
- Environmental Living - single dwellings only, in areas of special ecological or aesthetic values, similar to existing 2ec zone
- Large lots - single dwellings located on large lots
- Medium density is proposed over 5% of this site

Residential Expansion

With high quality subdivision and building design, it is possible to accommodate new development in a way that would not detract from Moruya's local character. It is essential that the following principles are applied to subdivision proposals within the Moruya Urban Expansion lands, and greenfield sites (existing zoned land), such as East Moruya (Braemar Farm):

Street Layout

It is important to build on the original street layout when designing the layout of the Moruya urban expansion areas. The street layout shall be grid or a distorted grid based on the local topography.

For the Moruya Heads lands a less formal approach to street construction may be appropriate (for example, no kerbing or guttering) to reflect the hamlet status.

A: Desirable Practice

This street pattern provides a hierarchy of interconnected streets. Connector roads provide access to open space and community facilities and a variety of quality residential streets. View corridors have been considered and the design builds upon the original street grid pattern.

B: Undesirable Practice

The street pattern in this subdivision minimises road length and maximises lot yield without consideration of ease of access, pedestrian and cycle networks, views, retention of existing vegetation or regard to the original street pattern.



A. Desirable Practice



B. Undesirable Practice

Source: NSW Coastal Design Guidelines Discussion Paper.

Vegetation Retention

The vegetated character of Moruya and Moruya Heads is highly valued. The dominance of the vegetation over the built form is part of the scenic character of Moruya Heads. The vegetation contributes to a sense of enclosure along the settlement entry road and should be retained. In order to maintain the bushland character, masterplans shall indicate tree retention zones on new lots. This is to preserve native vegetation and create a bushland environment similar to what exists in the surrounding lands. The masterplan shall also indicate a 40m vegetated visual buffer abutting arterial/settlement entry roads. Where no mature vegetation exists, new landscaping buffers shall be created using endemic species.



Residential Expansion Directions

Generally

1. The street layout shall be grid or a distorted grid based on the local topography.
2. Areas of steep slope, or that are identified, as scenically important, shall not be developed.
3. Apply riparian corridor setbacks and use the natural watercourses as environmental linkages to maintain natural systems.
4. Require masterplans to safeguard the overall vision and maintain design integrity of the built form.
5. Master plans for the urban expansion areas shall illustrate and demonstrate, where relevant, proposals for the following:
 - (a) design principles drawn from an analysis of the site and its context,
 - (b) desired future locality character,
 - (c) the location of any development, considering the natural features of the site, including coastal processes and coastal hazards,
 - (d) the scale of any development and its integration with the existing landscape,
 - (e) phasing of development,
 - (f) public access to and along the coastal foreshore,
 - (g) pedestrian, cycle and road access and circulation networks,
 - (h) subdivision pattern,
 - (i) infrastructure provision,
 - (j) building envelopes and built form controls,

- (k) heritage conservation,
- (l) remediation of the site,
- (m) provision of public facilities and services,
- (n) provision of open space, its function and landscaping,
- (o) conservation of water quality and use,
- (p) conservation of animals (within the meaning of the Threatened Species Conservation Act 1995 and plants (within the meaning of that Act), and their habitats,
- (q) conservation of fish (within the meaning of Part 7A of the Fisheries Management Act 1994 and marine vegetation (within the meaning of that Part), and their habitats.
- (r) architectural and landscape design guidelines.

Moruya South

1. Require a mix of lot sizes.
2. 5% of new lots to comprise of medium density-development.
3. 10% of new lots to comprise of dual-occupancy development.
4. Riparian corridor objectives and controls are applied and utilised for habitat corridors through the site.
5. Built form is of the inland coastal town/bushland style incorporating the use of shade elements and indoor/outdoor living space (refer Moruya Style).

East Moruya

1. Require a 40m landscaped buffer abutting the Princes Hwy. Landscaping to comprise endemic species.
2. Apply Moruya Style building design guidelines to ensure the local built form character is respected.
3. Require landscape masterplan. The plan shall require a landscape masterplan for the site. Riparian corridors to be utilised in establishing habitat linkages throughout the site.
5. Maintain a 40m visual buffer to the settlement entry road.
6. Require tree retention zones on new lots. This is to preserve native vegetation and create a bushland environment similar to what exists in the surrounding lands.

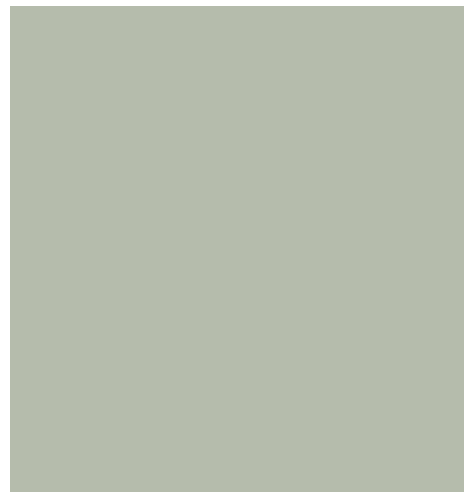
Moruya West

1. Large lot residential provides a transition from urban to rural areas.
2. No development on vegetated ridgelines and knolls (refer to scenic protection map).

Moruya Heads

1. Large lots maintaining a predominance of landscape over the built form.
2. Mostly native landscaping to reflect existing coastal bushland character.
3. Informal approaches to street construction incorporating no kerb and gutters but Water Sensitive Urban Design (WSUD).
4. Built form is of the coastal hamlet style incorporating the use of shade elements and indoor/outdoor living space (refer Moruya Style - Coastal Hamlet).

● Moruya Style

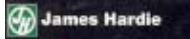


Moruya Style

An indicative style guide for new residential buildings in Moruya.

Acknowledgements:

Building style guide and illustrations prepared by
Whitelaw Associates Architects
P.O. Box 21
Moruya, NSW 2537

Photographic images kindly provided by: 

Photographic images of spotted gums and colour analysis and
working with neighbourhood character text kindly provided by:

Trevor King Conservation Planning & Design
PO Box 2066
Central Tilba NSW 2546

Maintaining Local Residential Character - Moruya Style:

Moruya residents have expressed a desire for controls on development to prevent loss of the unique rural character and charm of their town.

The IRIS Community Survey found that:

“Moruya residents emphasized the importance of maintaining the character and integrity of the smaller towns in the Shire amidst future growth. Many were scathing of the effect of development on the aesthetic of Batemans Bay and were adamant that this should not happen to Moruya.”

“Stricter council design regulations were considered necessary to enforce architectural consistency and to preserve the ‘rural town’ character of the streetscape.”

The township of Moruya has a diversity of character that has evolved over time. Moruya is the only inland coastal town in the Shire and has a historic rural character. This character is unique and reflects the community’s sense of having a separate identity from other urban areas along the coast.

The loss of character is a concern to the community in light of unprecedented pressure for development.

Insensitive development threatens to homogenise and suburbanise Moruya, diminishing its valued special character. Insensitive and inappropriate development often results from a poor understanding of local character and a lack of consideration of the context in which the property is located.

How?

Council has responded to the call for appropriate design regulations by compiling this style guide. It is intended that this style guide will be used as:

- An educational and promotional tool- to stimulate and inspire people to adopt a fresh approach to design within the township of Moruya
- A statutory support document- to illustrate and visually communicate the design elements considered appropriate for Moruya.

This guide emphasises the need to look beyond the site itself when designing a building. Architectural style is only one aspect of design that needs to be considered. There are other design issues in this plan such as number of storeys, floor space ratio, landscaped area, energy efficiency and bushfire risk, that also need to be considered. New buildings need to respect the context that surrounds the site.

The guide encourages the construction of buildings that have the following elements:

- A rural or coastal character rather than a typically “suburban” appearance.
- A lightweight construction form.
- Use a mix of building materials including lightweight cladding and sections of rendered brickwork rather than traditional suburban face brick.
- Avoid period style replicas (eg. Federation, Georgian, Tuscan styles, etc).

The photographs in the guide illustrate various design elements that could be incorporated into new buildings. The photos do not necessarily incorporate all

the elements and should be viewed in this context. Their purpose is to give an indicative visual guide to the types of styles that suit the Moruya context. The vision is to establish a design theme that is identifiable with Moruya. The guide will need to be flexible and responsive to innovation and change. It aims to help achieve buildings that are affordable, attractive to consumers and facilitate a change in direction and emphasis for the design industry.

Traditional suburban style housing (using face brickwork and tiled roofs) is actively discouraged. This form of development can homogenise Moruya and results from a poor understanding of local character.

Working with Neighbourhood Character

Neighbourhood character has been defined as follows:

'Neighbourhood character is the qualitative interplay of buildings, physical infrastructure, landscape and topographic characteristics, in both private and public areas, that make one place different from another.'

Our understandings about both 'sense of place' and local identity can be reflected in the built environment. A design-based approach to neighbourhood development presents us with an opportunity to develop solutions that are derived from the context that is unique to each place. This enables us to avoid homogeneity, and to build on existing qualities that are recognized as being of value to local people.

Context describes the setting into which a building is placed. The setting includes its site, natural environmental factors, the architectural vernacular based on regional forms and materials, and those elements that characterise the existing attributes of the neighbourhood. Source: Trevor King Conservation Planning & Design



Analysis of the Moruya Township Residential character.

The development of Moruya as a series of villages and subdivisions is reflected in the diverse building types found in almost any street. There are some areas (for example Gundry) which developed in a comparatively short time and have many buildings from a similar period, that have an obvious character.

Most streets however, will contain examples of buildings often spanning over a century.



The great majority of houses are single storeyed, with simple pitched roofs. Wall materials generally reflect the period of construction. Most common is weatherboard (either timber or fibre cement), next face brick and lastly flat fibre cement. Roof materials are similarly of their time, with corrugated steel roofs in slightly greater numbers than tile.

Moruya's place as a wealthy service centre for the 19th century gold and mineral booms is seen mostly in the older commercial buildings in the main street rather than in the housing stock, which remains relatively modest in appearance.

Moruya Township Early Residential Buildings

The superb hardwoods of the South Coast were the most available building material for early houses, and the fact that many houses from the late 19th century survive is testimony to their durability.

The classic early Australian hipped roofed house was the model for much of the first housing in Moruya, often with low pitched verandahs facing the street frontage.

The police station in Page Street is one of the few early brick masonry houses.



Photo: Early residential buildings Page Street. Building materials were weatherboards with corrugated iron roofs.

SUMMARY OF OBSERVED BUILDING ELEMENTS - MORUYA TOWNSHIP

- Generally diverse building types reflecting the period of development
- Housing stock is 'modest' with an absence of large ostentatious homes.
- Single storey homes predominate.
- Brickwork is usually limited to sub floor or at most single storey. Two storey brick houses are uncommon.
- Simple roof forms dominate. A mixture of hipped roofs and simple pitched. Older buildings have pitches of 30 degrees or more.
- Corrugated steel sheet is the most common roofing material, but roof tiles are also well represented
- Bargeboards in gabled roofs are usually plain.
- Ceiling heights between 2.7 and 3 metres in older houses easily allow the addition of verandahs.



Early residential building Page Street.



Early residential buildings Page Street- rendered construction.



1. Weatherboard house with main hipped roof and gable to street frontage. Roof pitch usually 22 degrees, ceiling height over 2.7 metres. Use of simple low pitched verandah as entry transition space and weather protection. Corrugated steel roof and protective awnings over windows.



2. Classic weatherboard cottage with hipped roof and lower pitched hipped verandah to the street frontage. Vertically proportioned windows, slender hardwood posts with simple arched detailing. Corrugated steel roof. Ceiling height usually 3 metres.



3. Gable roofed cottage with fibre cement flat sheet cladding. Wall lining sheets and cover battens are set out to match window openings. Overhanging gables give some weather protection to end walls. Roof is extended to form a sheltering entry porch. Fibre cement roof.



4. Weatherboard gable roofed cottage with partially enclosed verandah. Typical of Gundary area. Roof pitch around 35 degrees, minimum pitch (5 degrees) verandah. Ceiling height usually 3 metres. Verandah giving sun and weather protection to windows.



5. Cottage with skillion or monopitch roof. Timber framed windows (often top hung sash type). Cladding typically fibre cement flat sheet. Roofing often deep pan metal deck. Properly proportioned eaves can make these houses relatively comfortable year round, especially if the roof slopes towards the South.

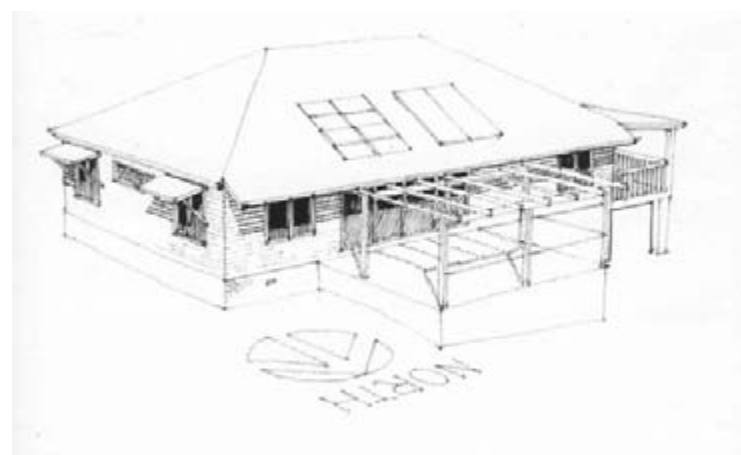
NEW HOUSES IN MORUYA TOWNSHIP

The diversity in housing styles makes most generic statements of design elements difficult. New houses in existing residential streets will require an analysis of their immediate neighbourhood, demonstrating how the design has respected and enhanced the existing streetscape.

In an environment of largely single storey buildings, successful integration of two storey homes requires careful planning and site design. To assist in integrating new two storey dwellings into established single storey streetscapes, the following design criteria shall be applied:

- Full height two storey walls, especially at the street frontage are prohibited.
- Upper floor levels are to be recessed.
- Employ a change in wall materials at first floor level.
- Reduce the apparent height of the upper storey by limiting the use of gables at the wall line.
- The use of wide (over 600mm) eaves on the upper storey for roofs over 22 degree pitch will assist in reducing the apparent height.
- Use verandahs, awnings and lower storey roofs to reduce the building bulk.
- Restrict the use of brickwork to the ground floor.
- Where the slope of the land permits, maintaining a single storey to the street frontage is encouraged.

Many of the above strategies may also assist in compliance with building envelope as well as building comfort and energy use issues (BASIX certificate).



MORUYA HEADS RESIDENTIAL CHARACTER

Although only a short drive from Moruya town centre, Moruya Heads has a distinct character, dominated by a 'coastal holiday house' aesthetic. The area is naturally subdivided by geography and partially by settlement period into several fairly distinct precincts.

The eastern-most precinct contains the original pilot station and many early buildings. Its proximity to the beach and the headland reserves have resulted in high residential demand.

Most pre WW2 buildings have been extensively renovated and extended, and often it is these additions of verandahs, decks, awnings and annexes that give the general small scale and light weight feel to the precinct. A low key 'holiday village' character predominates, although the majority of houses are now permanent residences.

There is a greater diversity of building style here than in other area, however there are common themes to most buildings:

- Limiting of brickwork to sub floor use for most buildings
- Corrugated steel the dominant roofing material
- Fibre cement sheet the dominant wall material

With most water views having a westerly aspect, deep covered decks and verandahs are common.

The original pilot station buildings provide a valuable model for new development. They are simple hipped roofed structures with 'dutch gables', sheltering eaves and lowered skillion roofs on the southern sides.

Between the older residential area and the seaside holiday parks on the Congo road is an area dominated by comparatively recent medium density development.

Houses fronting South Head road enjoy good northerly aspect as well as water views, and are mostly mid 20th century houses originally built as holiday cottages. Many have mono pitch or skillion roofs, usually at 5 degree pitch. The streets behind these houses were subdivided in 1970's and contain houses typical of the period, from all timber pole houses to two storey face brick.

Further west, the proportion of recent building increases. This area comprises varying lot sizes, and has the widest variety of styles and periods. Apart from some of the older areas such as above Preddy's Wharf, there is little commonality in either style or period.

Moruya Heads Early Residential Buildings

Simple building forms characterise the remaining early buildings. Corrugated steel is the standard roofing material, with some buildings still having original weatherboard wall cladding. Roof pitches are generally around 30 degrees.





Sketch: Building style found at Moruya Heads

Weatherboard and cement sheet wall cladding and corrugated steel roofing on hardwood stud framing remained the dominant external materials until the 1970's when the first brick veneer houses appeared.

SUMMARY OF OBSERVED BUILDING ELEMENTS- MORUYA HEADS

- Brickwork is usually limited to sub floor or at most single storey. Two storey brick houses are uncommon.
- Simple roof forms dominate- a mixture of gables, hipped roofs and skillions.
- The original, simple building shapes were often modified by later additions of verandahs, lean-to's and carports, leading to a light weight, informal appearance.
- Corrugated steel sheet is the most common roofing material.
- Roof pitch varies greatly, but the most common range is 22 to 35 degrees.

- Ceiling heights are generally at least 2.7 metres.

NEW HOUSES IN MORUYA HEADS

Scale

The biggest issue facing a designer for a new house in an existing street is one of scale. Expectations are for larger houses than was the case 50 years ago. Given the size of many residential blocks, this often results in a two storey solution. Access to views also often drives a desire for a two storey building.

Where the slope of the land permits, maintaining a single storey to the street frontage is encouraged.

The scale of a two storey street frontage can be modified by

- Varying wall materials-for example, brickwork to the lower floor, lightweight cladding to the upper floor
- Use of verandahs, awnings over windows
- Planning the building as smaller linked 'pavilions' rather than a 'one box' design.

Using existing design elements

All new building work is required to pass minimum energy standards. Many of the existing elements can be used to assist in achieving these standards as well as helping to continue the perceived 'holiday cottage' appearance of Moruya Heads.

Use of lightweight cladding: well insulated framed walls with weatherboard, flat fibre cement sheet or corrugated steel cladding perform well in this climatic

zone as well as continuing the existing coastal theme.



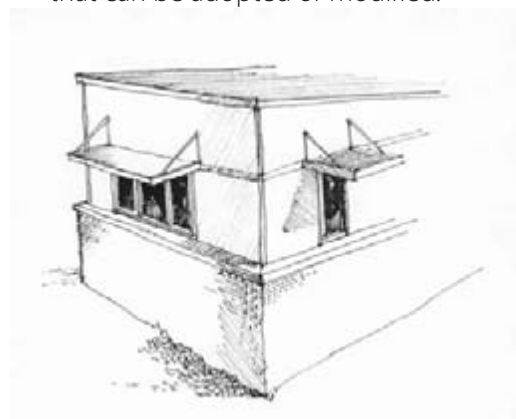
Verandahs and covered decks: these are especially useful on the eastern and western sides of a house, as they provide shelter and summer shading without obstructing northern solar access during winter. If located on the eastern side, they can be used to control summer cooling breezes. Verandahs can also provide weather protection on the southern side.



Lean-to or skillion roofs: when added to a simple roof form, they can articulate the building and reduce scale.



Window awnings: fixed window awnings are increasingly being used to provide precise shading. There are many examples of fixed awnings from early buildings that can be adopted or modified.





Eaves. Properly designed eaves can provide the correct amount of shading and protection for windows and external doors as well as being sympathetic to the coastal aesthetic.



Moruya Style: Traditional



Moruya Style: Bushland/Rural Fringe





Moruya Style: Coastal Hamlet



Moruya Style: Coastal Hamlet





Moruya Style: Modest/Affordable styles



Using Colour

Differences in perception of the composition of light. A subtle influence that is none-the-less pervasive

It seems simplistic to point out that our visual experience takes place in a field that is entirely composed of colour. This fact, true for the vast majority, is elemental to our lived experience and essential to gaining a more complete perception and reflection of sense of place. The benefits of adopting a natural colour regime for new development are obvious. The existing built environment may also be modified through time to merge better with new works and with nature. Harsh areas of face brickwork can be softened, large expanses of inappropriate colour can be broken up, people's lived experience can be gentled.

Native vegetation provides us with rich opportunities for experimenting with local colour relationships, from the wide variety available in the trunks of Spotted Gums, to the colour of new growth in most species and of the Eucalypts in particular. (see photos)

Owners will be encouraged to review the existing colours of their property and where appropriate to change them in line with this guide if that is their wish. The impact of the Structure Plan on the overall environment will therefore be deeper and more profound.



General Recommendations on the Use of Colour

The strong light of Australia can lead to a bleached appearance. Therefore the use of clear whites over larger surface areas, often associated with the built environment in Mediterranean countries, should be avoided in favour of softer creams and light pinks.

Preferred colours are those that echo and complement the natural colours of the landscape of the far south coast and should therefore be chosen to reflect the existing natural environment. The following points are provided as a guide that outlines a number of strategies that can be followed in order to achieve this aim.

Some characteristics of natural colour relationships and approaches that can be utilised in order to lead to good results are:

Use Families of Colour: as they unify space and generate contrasts that, taken together, are not stark. The use of mid and quarter -tones is recommended in order to create gradients within the field.

Colour Variation: the overall impact of a colour scheme will more effectively relate to the natural environment when the colour on the plane varies. The use of paint technologies such as colourwash and rendering techniques that are colour layered and that create texture is encouraged. This will directly reflect the mutual embedding of colours that is a pervasive characteristic in nature. Both these approaches will also create colour variation as the sun angle changes throughout the day and at different times of the year, reflecting the light differently. Base colours: should be of soft hues. When utilizing face brickwork, choose bricks in soft pastels and select a mortar that matches the brick. Subtle colour variations in the brick itself (such as sandstock) are suitable, but avoid


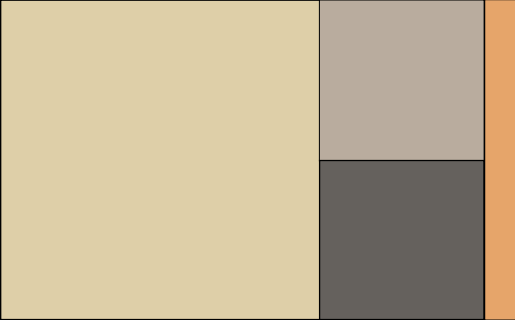

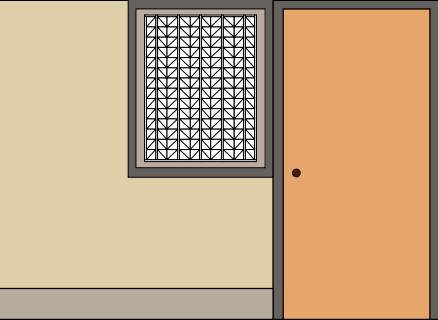

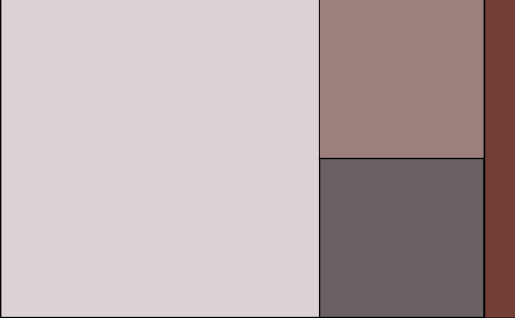

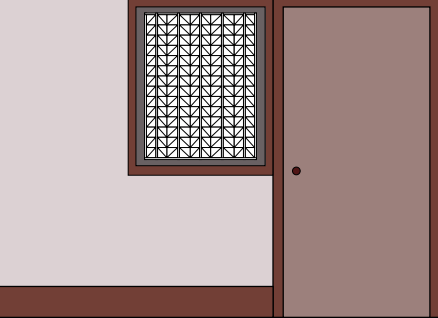

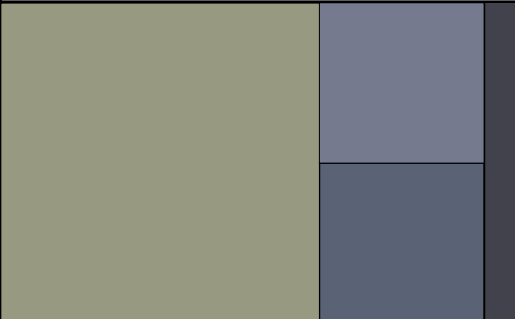

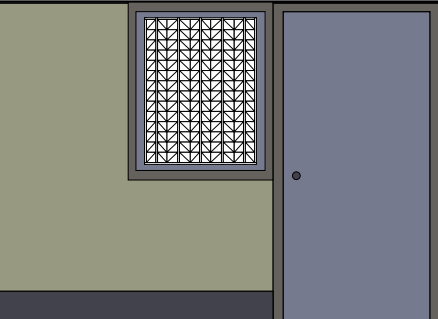
sharp contrasts such as tapestry brickwork. Avoid red, orange, dark brown.


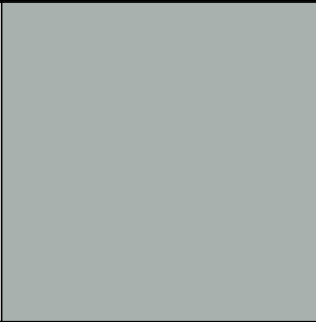
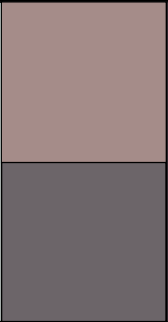

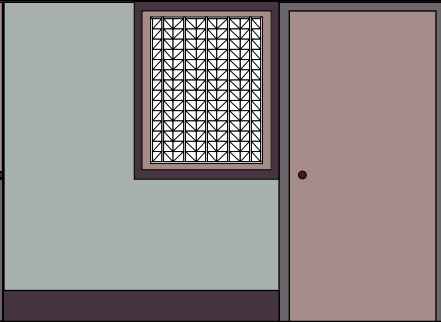

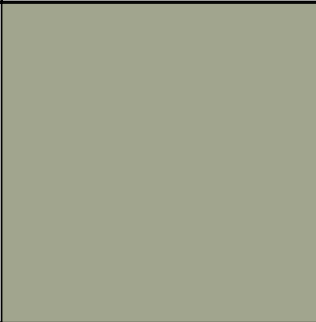
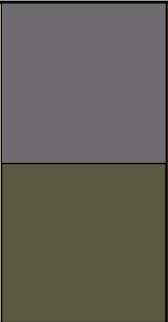

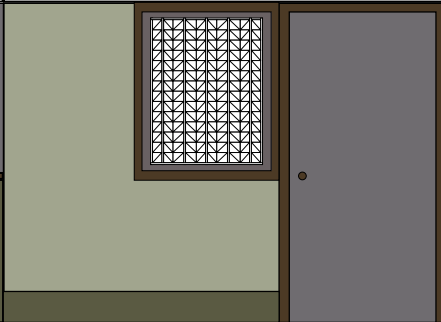

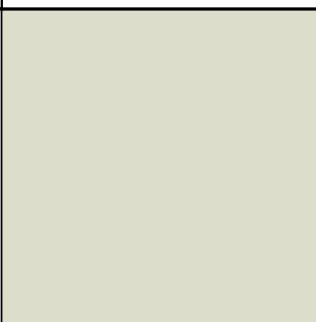
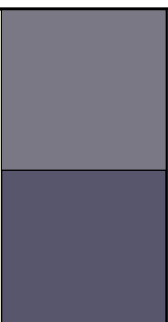

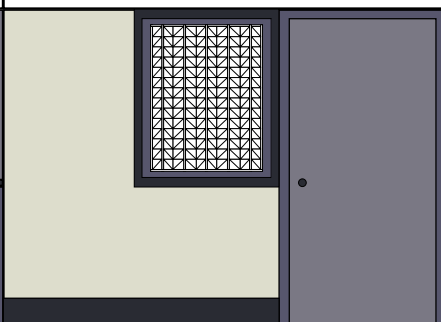
Clarity of Individual Colour and Subdued Brilliance: *In general the colours, which occur in nature, are beautiful ones that, taken together, generate a feeling of unity. When large surfaces are to be coloured a good approach is to use light, clear, neutral colours contrasted with small quantities of relatively deeper colours that work together by preventing the dominance of any one colour over the others, producing a calm and neutral effect.*

Use Unequal Amounts of different colours: to create a hierarchy of colour relationships.


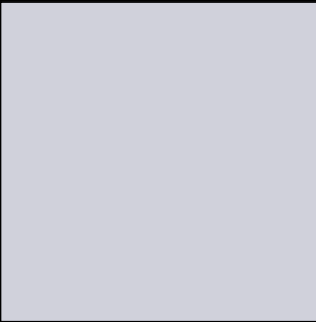
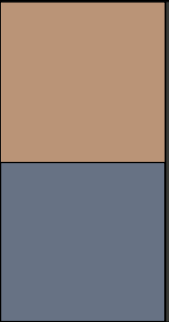

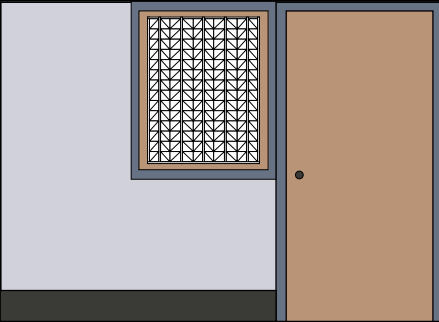

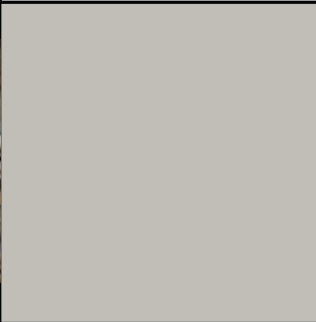
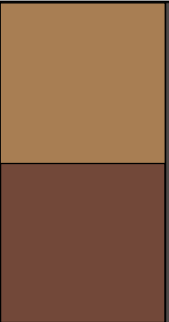

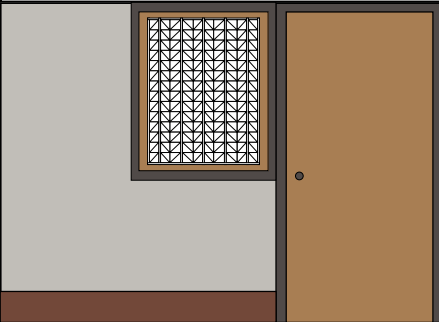
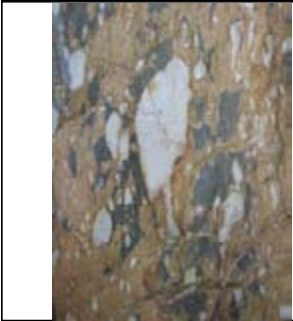
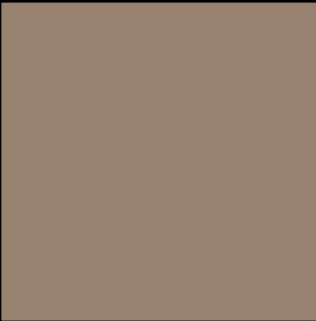


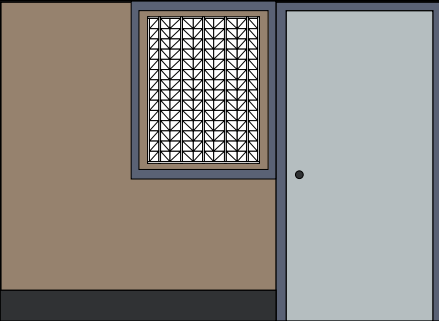
Trims: When two colours meet, there is an imperfect unity because the two colours, by being different, create a divide. Trims of a third colour act to bridge the divide and form a link between them. Trims also serve to strengthen and intensify adjacent colours creating a co-operative wholeness across the colour range. A subtle trim can make adjacent colours shine. Trim includes items such as fascias and gutters, window frames, garage doors, posts and beams. These are usually items that are highlighted with feature colours. It is important to avoid stark contrasts. Use colours that harmonise with the main elements of the walls and roof while still creating an interesting composition.


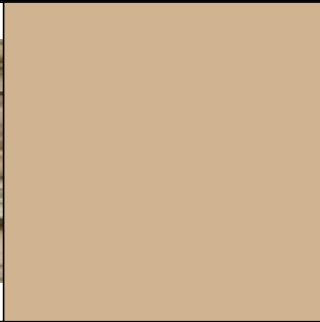
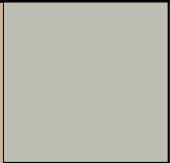
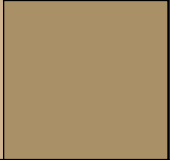

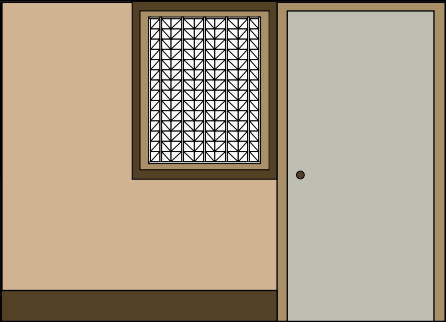

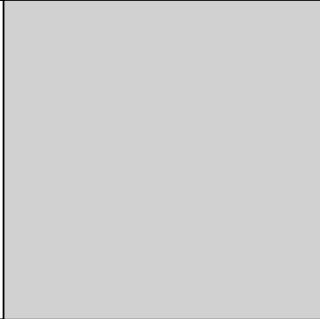

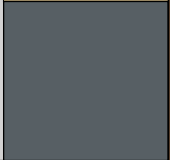

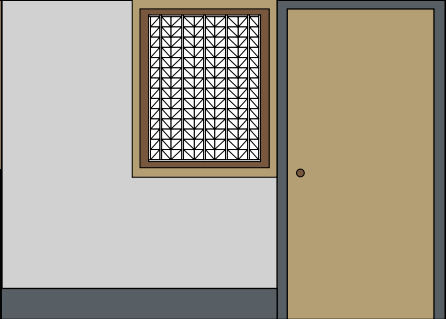

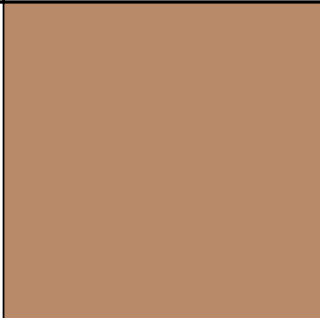



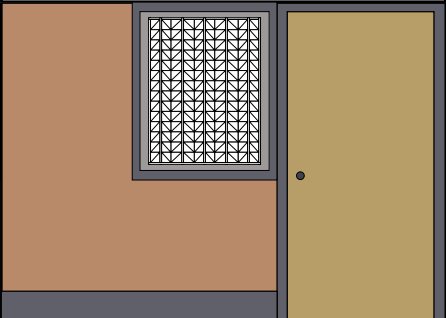
(Source: Trevor King)

Visual Source	Pallete	Two Storey Example	Typical Wall Detail
			
			
			


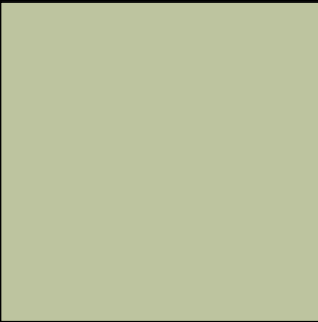
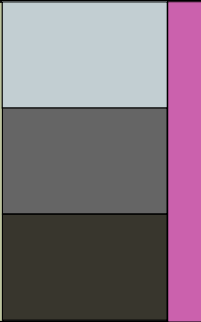

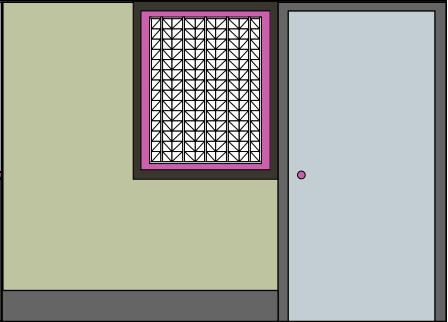


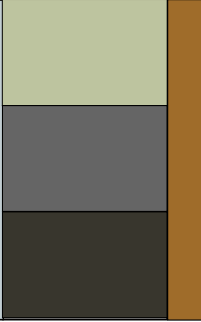
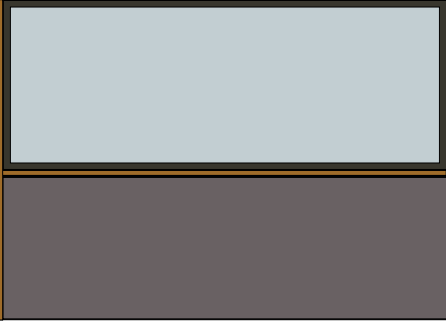
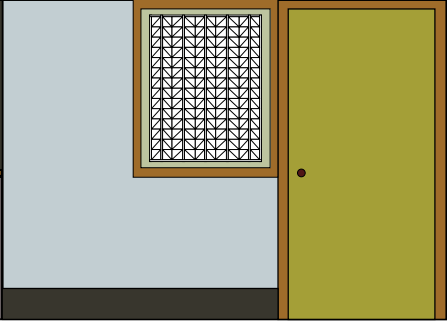

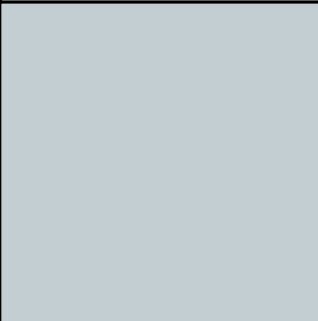
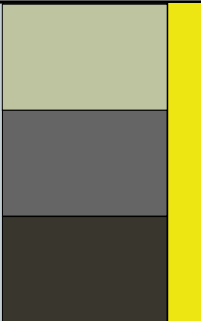
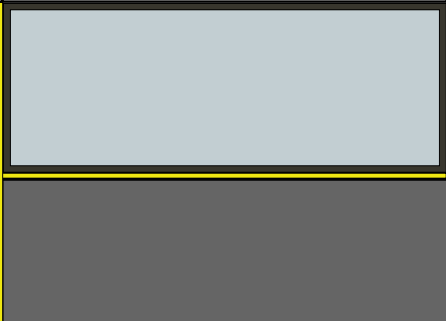
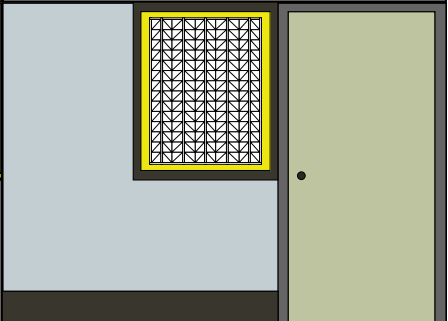
Visual Source	Palette		Two Storey Example	Typical Wall Detail
				
				
				


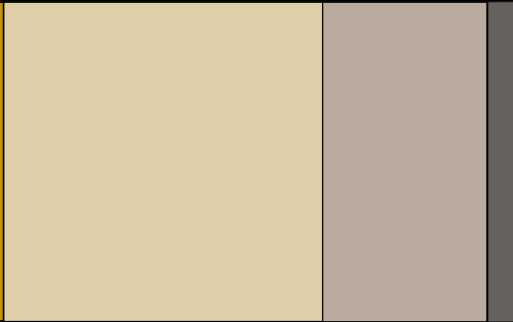

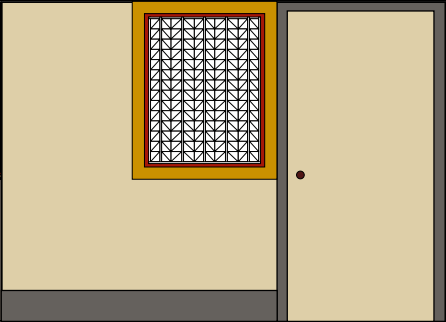

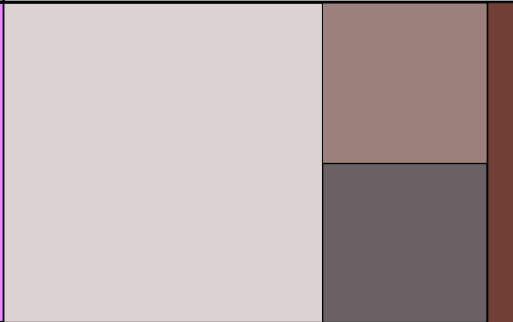
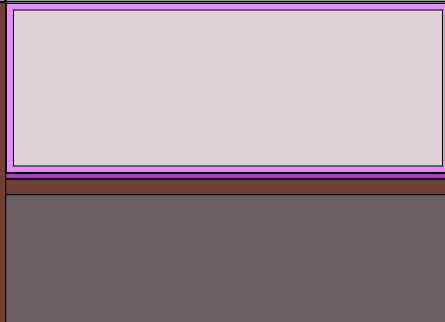
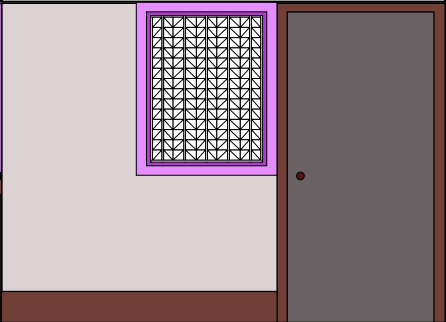

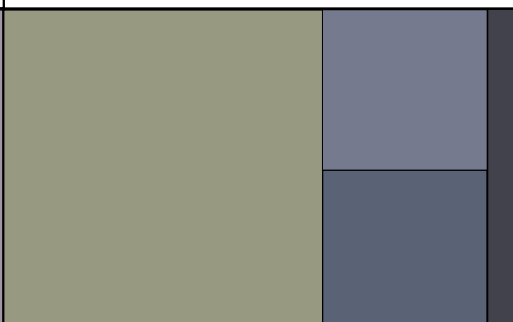
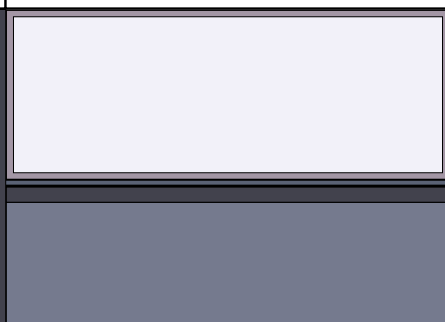
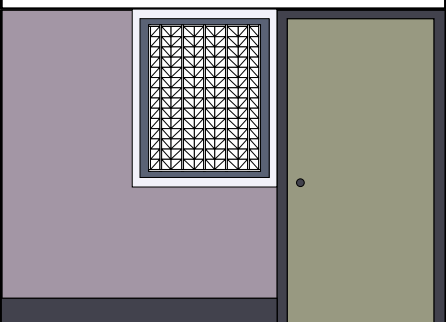
Source:Trevor King

Visual Source	Palette		Two Storey Example	Typical Wall Detail
				
				
				

Visual Source	Palette		Two Storey Example	Typical Wall Detail
		 		
		 		
		 		

Source:Trevor King

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Visual Source	Pallete	Two Storey Example	Typical Wall Detail
			
			
			

Source:Trevor King

Nature Coast Style Guide

The public response to the Draft Nature Coast Guide, prepared by Trevor King was very positive. In response, Council will be furthering its works on these guidelines as a prelude to preparation of Place Statements for the Shire's Settlements.

The Nature Coast Style Guide explores the natural landscapes of the Eurobodalla coast and illustrates how elements from the natural environs can be adapted into building designs to form a distinctive local style.

The guide acknowledges that the current industrially based building practices and products will continue to form the basis of which the building industry is structured. Council is liaising with industry representatives in an effort to bring about change and help to stimulate new designs and products that are responsive to the local environment.

The Nature Coast Style Guide is designed for new release areas where there is not an established neighbourhood character. For infill development, it is paramount that the neighbourhood character principles outlined in the Moruya Style are adhered to.

Draft Nature Coast Style Guide



A Discussion Paper

prepared for Eurobodalla Shire Council by

Trevor King Conservation Planning and Design
November 2006

Heights

The height of development within Moruya is predominantly low scale. The historic main street has a dominant two-storey scale. Within the surrounding residential areas, single storey homes predominate. It is important that the heights of new buildings relate to the existing built form and that the historic scale of the main street is maintained.

This Plan ensures that the existing height controls within the settlement are maintained. It also allows for greater height within the town centre where sites are unobtrusive and where an exceptional level of design can be achieved. Locating larger buildings within the town centre, away from the foreshore reduces visual impacts and overshadowing of public areas. It also optimises the use of public transport.

To ensure that the existing character of Moruya is not lost to tall buildings the following height principles shall apply:

Principles;

- Ensure heights of buildings relate to the existing built form.
- Ensure that the historic scale of the main street is preserved.
- Ensure heights are lower for developments within areas identified as scenically important.
- Ensure building height responds to the topography of sites to minimise the impact of tall buildings on steep slopes.
- Ensure that heights account for the flood freeboard.
- Acknowledge that some centrally located sites may be suitable for taller buildings so long as they are not visually intrusive and are appropriate to the surrounding form and scale.
- Avoid overshadowing of public open spaces and the river foreshore in the town centre.

If the trend to build larger homes continues, the construction of two storey dwellings will become more common. In an environment of largely single storey buildings as is the case in Moruya, successful integration of two storey homes requires careful planning and site design.

The following design criteria is proposed for two storey homes to mitigate the impacts of two-storey development within single storey streetscapes.

- Restrict or eliminate full height two storey walls, especially at the street frontage.
- Where full height two storey walls are proposed, change wall materials at first floor level.
- Reduce the apparent height of the upper level by limiting the use of gables at the wall line.
- The use of wide (over 600mm) eaves on the upperstorey for roofs over 22 degree pitch will assist in reducing the apparent height.
- Use verandahs, awnings and lower storey roofs to reduce the building bulk.
- Restrict the use of brickwork to the ground floor.
- Where the slope of the land permits, maintaining a single storey to the street frontage.

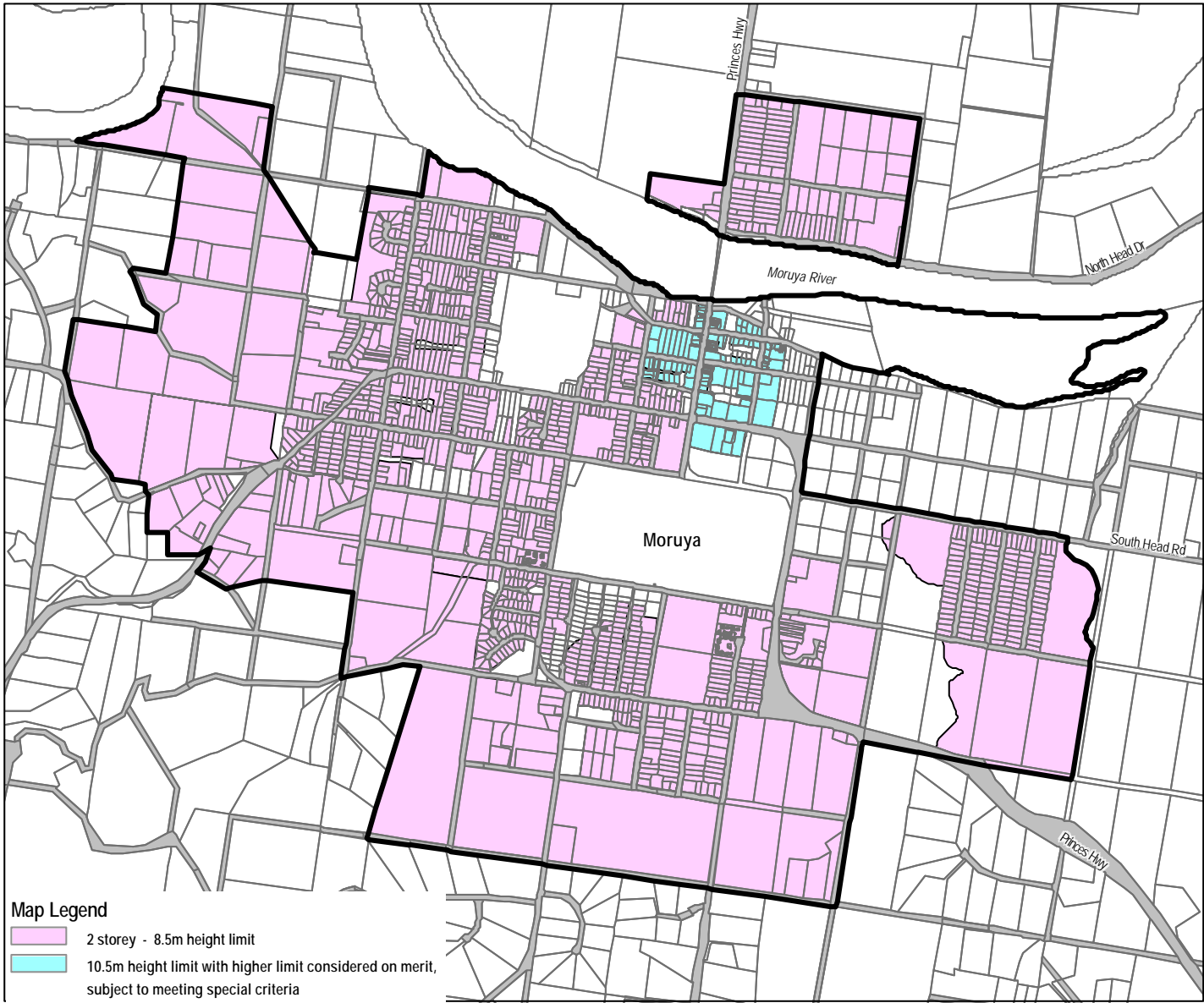
Given the Shire's increasingly ageing population, it is likely that the existing single storey housing stock within Moruya will be taken up and extensively renovated to meet new needs. This trend may also see a return to more single storey dwellings or purpose designed medium density housing close to town where height limitations allow.

Height Directions;

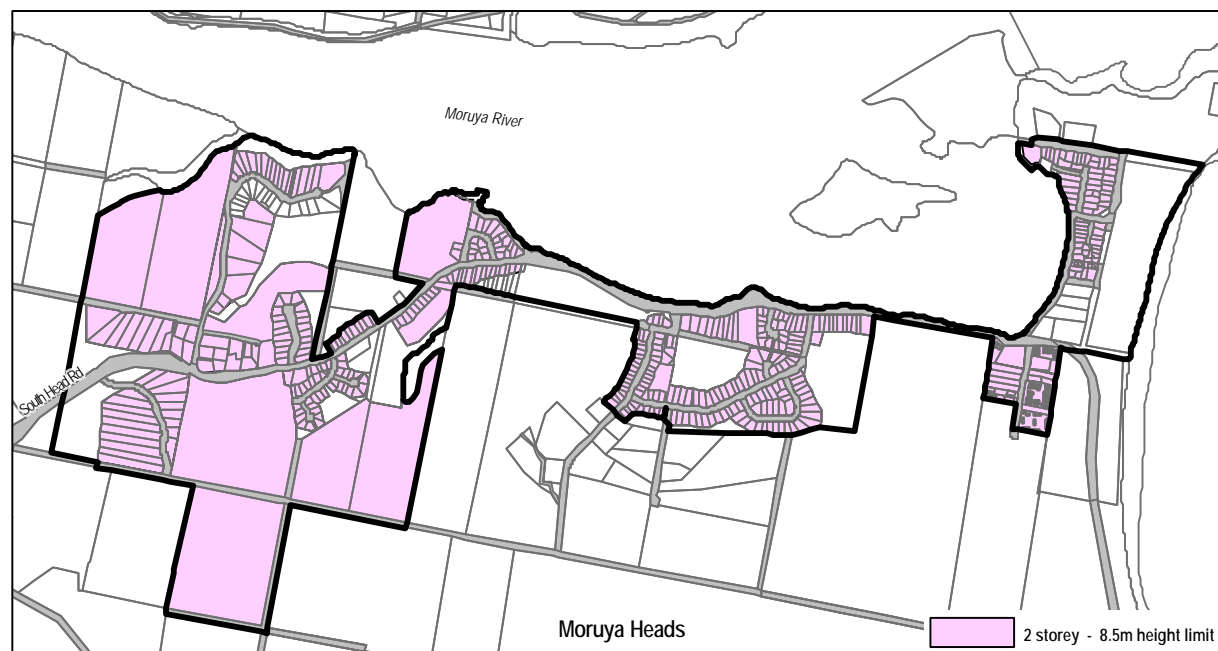
1. Heights are to be in accordance with the Height Map.
2. Residential Heights for Moruya shall be maximum two storeys and 8.5m. Single storey dwellings prevail. Two storeys dwellings will be permitted if they meet with the following criteria:
 - Full height two storey walls at the street frontage are strongly discouraged.
 - Where full height two storey walls are proposed, change wall materials at first floor level.
 - Reduce the apparent height of the upper level by limiting the use of gables at the wall line.
 - The use of wide (over 600mm) eaves on the upperstorey for roofs over 22 degree pitch will assist in reducing the apparent height.
 - Use verandahs, awnings and lower storey roofs to reduce the building bulk.
 - Restrict the use of brickwork to the ground floor or architectural features.
 - Where the slope of the land permits, maintain a single storey to the street frontage.
3. Building Heights within the town centre shall be 10.5m.

A variation to this height limit may be considered if the development meets the following criteria:

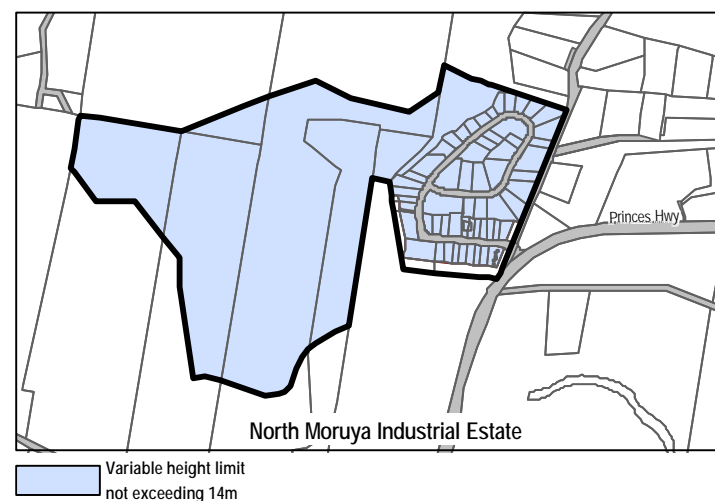
New development must be:
 - Appropriate to the predominant form and scale of surrounding development and
 - Appropriate scale within the vicinity to heritage items, surrounding landforms and the visual setting of the settlement and
 - Not exceed a two-storey presentation to the mainstreet and
 - Be of exceptional urban design.



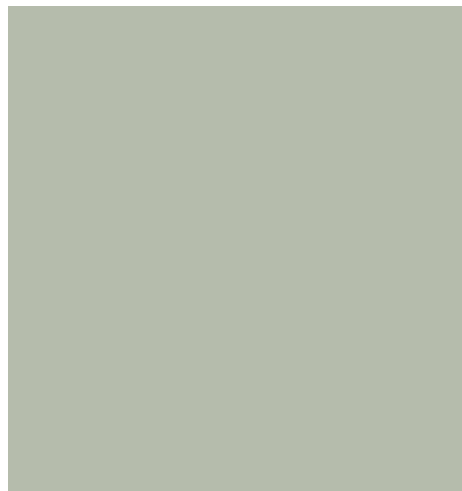
Building Height Limits



Building Height Limits



Future Structure



Section III provides the Future Structure for the Moruya Structure Plan. Section III draws on the big picture overview provided in Section I and the detailed data and analysis provided in Section II to present the preferred future structure for Moruya.

The directions provided in Section II – Urban Structure provide the basis for the Future Structure recommendations. These recommendations are presented in map form as well. The maps presented in Section II – Urban Structure, inform the Future Structure Maps.

All the data and analysis of the Moruya Structure Plan will inform the Eurobodalla Local Environmental Plan and related development controls. The Future Structure Recommendations and Maps will be directly incorporated into the Eurobodalla Local Environmental Plan.

Recommended Zoning Changes

Council must prepare the draft LEP in accordance with the standard instrument and incorporate the relevant mandatory provisions before it can be publicly exhibited and then recommended for gazettal.

Zoning

The following recommendations relate to zoning changes for Moruya. The zoning changes will be incorporated into the new Eurobodalla Local Environmental Plan. These recommended changes are also shown in the maps that immediately follow:

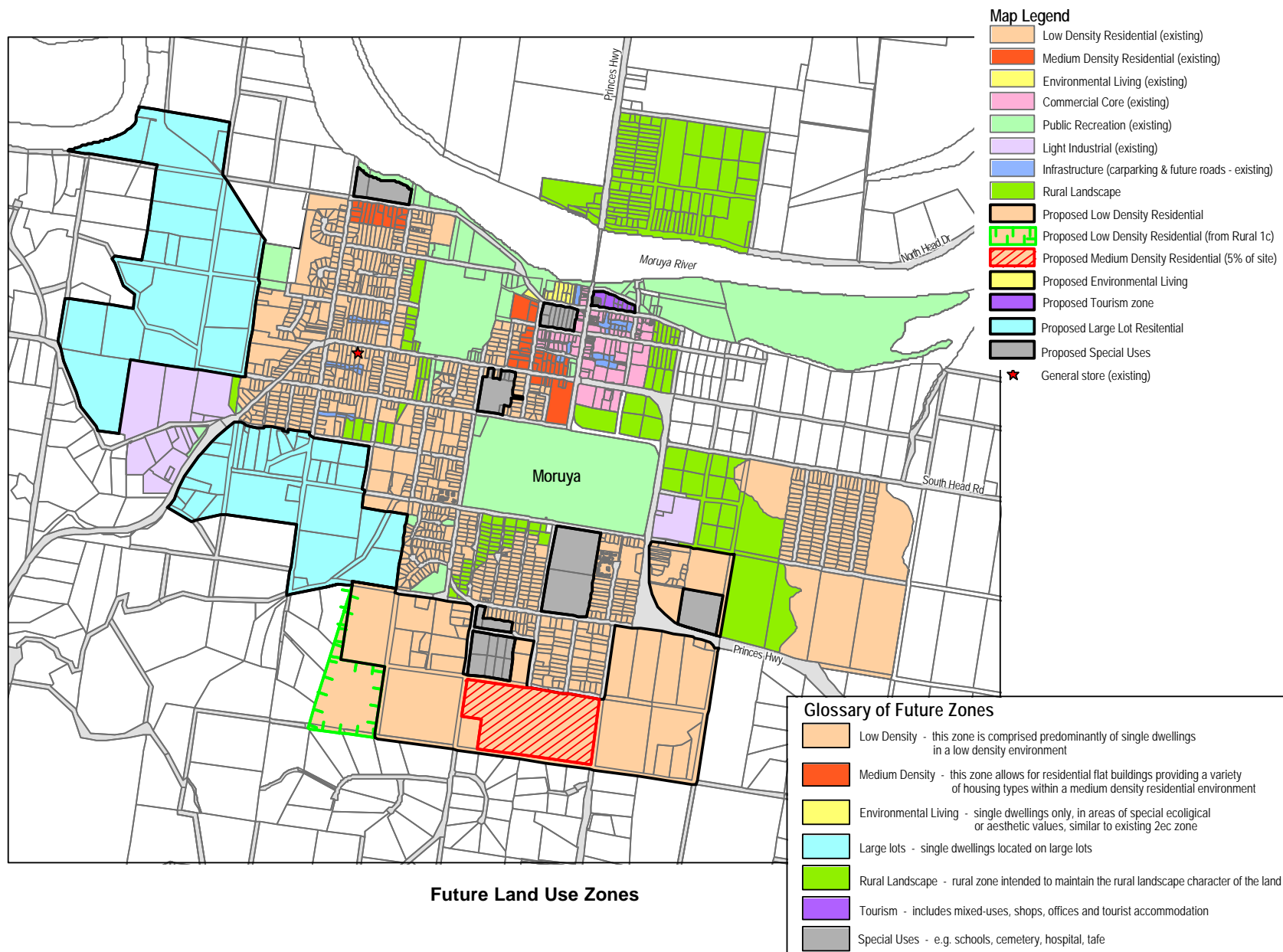
- ## Recommended Zoning Changes

Council must prepare the draft LEP in accordance with the standard instrument and incorporate the relevant mandatory provisions before it can be publicly exhibited and then recommended for gazettal.

Zoning

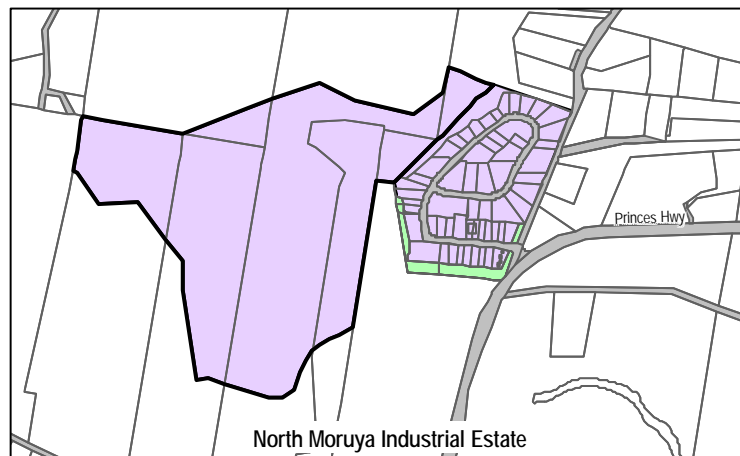
The following recommendations relate to zoning changes for Moruya. The zoning changes will be incorporated into the new Eurobodalla Local Environmental Plan. These recommended changes are also shown in the maps that immediately follow:

 - Maintain the rural zoning of the lands separating Moruya from Moruya Heads. (Eurobodalla Settlement Strategy(ESS) Action SP9)
 - Maintain the rural zoning north of the Moruya Bridge (flood affected).
 - Maintain the business zoning for the town centre and the permissibility of residential uses (mixed use) within this zone.
 - Maintain the existing medium density zone surrounding the town centre (ie. rezone the existing residential-tourism land to medium density). (ESS Action SP16)
 - Apply Tourist zoning to Shore Street precinct allowing for tourist-related commercial development.
 - Apply large lot residential zone to the West Moruya Urban Expansion Area.
 - Apply environmental living residential zoning to the Moruya Heads Urban Expansion land. (ESS Action SP19)
 - Apply Industrial zone that permits warehousing, manufacturing and assembly to the Nth Moruya Industrial Estate and to the rural land adjoining the North Moruya Industrial Estate (to allow for industrial expansion). (ESS Action ED10, ED12)
 - Apply Medium density zoning to 5% of new lots at the South Moruya Urban Expansion Land.
 - Rezone to residential, the rural residential land abutting the south Moruya Urban Expansion Area at the south western corner of the existing Urban Expansion zone. (ESS Action SP24)
 - Apply special purpose zones to existing institutional sites for example, the Tafe, schools, hospital etc.
 - Apply the Environmental conservation zoning using the new Zone E2 Environmental Conservation under the LEP for riparian corridors, areas containing EEC's, wildlife corridors and SEPP 14 Wetlands within the Moruya Heads Urban Expansion Zones (as per Independent Panel Recommendation).
 - Investigate lands for high/medium/low conservation values as part of the Biodiversity Certification Project.





Future Land Use Zones



Glossary of Future Zones

- Low Density** - this zone is comprised predominantly of single dwellings in a low density environment
- Medium Density** - this zone allows for residential flat buildings providing a variety of housing types within a medium density residential environment
- Environmental Living** - single dwellings only, in areas of special ecological or aesthetic values, similar to existing 2ec zone
- Light Industrial** - provides a wide range of light industrial, warehouse and related land uses

LEP Provisions

Council can include statutory provisions within the LEP (for example clauses restricting the height of buildings, floor space ratios and subdivision lot sizes.)

The Moruya Plan recommends that the following provisions be included in the LEP.

Heights:

Height Map to be included as an overlay within the new LEP. (ESS Action SP7)

Residential Heights for Moruya shall be a maximum two storeys and 8.5m.

Building Heights within the town centre shall be 10m.

A variation to this height limit may be considered if it meets the following criteria:

New development must be:

- Appropriate to the predominant form and scale of surrounding development,
- Appropriate scale within the vicinity of heritage items, surrounding landforms and the visual setting of the settlement.
- Not exceed a two-storey presentation to the main street.
- Be of exceptional urban design.

Heritage:

Assess Items for Further investigation for heritage significance and include as Heritage Items in the new LEP.

Natural Hazards.

Give statutory effect to the objectives contained in Council's Moruya Valley Floodplain Development Control Plan 2004 by including them in the new LEP.

Development Controls:

The following development controls have been drawn from the Directions contained in the Structure Plan and will be included in a Development Control Plan for Moruya and Moruya Heads.

Setbacks:

1. For new developments the foreshore setbacks should be at least 50m wide as a precautionary measure where possible.
2. Setbacks should where possible be increased to 90m or more where they are adjacent to ecologically sensitive areas or in situations where the coastal erosion hazard requires greater distance.
3. Development on dunal systems is prohibited. This applies to frontal areas and hinddune systems.

4. New release areas abutting an arterial road/settlement entry road shall maintain a 40m vegetated setback to the road. The setback to include the vegetation canopy and understorey to maintain ecological corridors and the scenic character of roads. Bushfire management setbacks(ie. Asset Protection zones) are in addition to this minimum 40m setback. Scenic areas and ecological corridors should not be compromised by bush fire buffers. (ESS Action H10)

5. In determining the size of vegetation buffers Council must consider the impact of exemptions under the NVC Act (clearing of fencelines) to ensure scenic protection objectives are achieved.

Scenic Protection:

1. *Entry sites*
Include urban design criteria for the two nominated entry sites in the town centre within a Development Control Plan.
2. *Entry roads to the south and north of Moruya.*
Apply scenic protection controls and vegetated buffers to future residential proposals on expansion lands that adjoin or are visible from the Princes Highway. (ESS Action H7, H8)
3. Apply a 40m vegetated visual buffer to the settlement entry roads for new release areas. In determining the size of vegetation buffers Council must consider the impact of exemptions under the NVC Act (clearing of fencelines) to ensure scenic protection objectives are maintained. (ESS Action H10).

Access & Circulation:

1. Insert development controls in the DCP for Moruya and Moruya Heads to:
 - a) ensure that the relationship between roads and their particular bush and coastal character is protected.
 - b) ensure that the traditional pattern of street and road types in Moruya is used as a key principle if/when developments or changes to streets and roads are proposed.
 - c) continue the grid pattern/warped grid pattern based on topography to maintain the character of the country town.
 - d) maintain the scenic values of settlement entry roads by ensuring new development cannot be seen from bush and coastal drives that at present has a natural character.
 - e) ensure roadway design / works incorporates space requirements and grades for bus stops.

Public Open Space Directions

1. Upon redevelopment, acquire foreshore land at the hospital site by way of dedication to ensure the entire Moruya urban foreshore is retained in public ownership.

Public Facilities

1. Include development incentives in the Section 94 Contributions Plan to encourage the private provision of facilities in and improvements to the public domain. These may include financial incentives through private/ public partnerships, developer agreements, commercial use of operational land and the like.

Heritage:

1. Prepare and apply design guidelines for development within the Page Street Special Character Area.

Environmental Management:

1. Apply a riparian protection zone of 90 metres (where it can be achieved) to the foreshore of the Moruya River. (ESS Action NE11).
2. Identify lands with high/medium/low conservation values as part of the Biodiversity Certification Project.

Natural Hazards.

1. Upon adoption by Department of Natural Resources, include the DNR Riparian controls within a DCP (ESS Action NE12).

Retail.

1. Support through private development, the extension of the public domain such as footpaths and open space areas which may be leased for alfresco dining or displaying art, complementary private floor space uses.
2. Require by way of development controls, active street frontages at street level. No blank walls, accommodation or car parking.
3. Include the actions contained in the Retail precincts Section of the Structure Plan within a DCP.
4. Enhance Moruya's Main Street. (ESS Action H9)

Residential:

1. Include the Moruya Style building guidelines within the DCP for Moruya and Moruya Heads to enhance local character.
2. Include principles in a DCP to encourage the development of modular housing and other adaptable housing options to suit various stages of life. (ESS Action SP14)

Residential Expansion Recommendations**Generally**

1. The street layout shall be grid or a distorted grid based on the local topography.
2. Areas of steep slope (25% or greater), or that are identified as scenically important, shall not be developed.
3. Apply riparian corridor setbacks and use the natural watercourses as environmental linkages to maintain natural systems.
4. Require masterplans to safeguard the overall vision and maintain design integrity.
5. Master plans for the urban expansion areas shall illustrate and demonstrate, where relevant, proposals for the following:
 - (a) design principles drawn from an analysis of the site and its context,
 - (b) desired future locality character,
 - (c) the location of any development, considering the natural features of

- the site, including coastal processes and coastal hazards,
- (d) the scale of any development and its integration with the existing landscape,
- (e) phasing of development,
- (f) public access to and along the coastal foreshore,
- (g) pedestrian, cycle and road access and circulation networks,
- (h) subdivision pattern,
- (i) infrastructure provision,
- (j) building envelopes and built form controls,
- (k) heritage conservation,
- (l) remediation of the site,
- (m) provision of public facilities and services,
- (n) provision of open space, its function and landscaping,
- (o) conservation of water quality and use,
- (p) conservation of animals (within the meaning of the Threatened Species Conservation Act 1995 and plants (within the meaning of that Act), and their habitats,
- (q) conservation of fish (within the meaning of Part 7A of the Fisheries Management Act 1994 and marine vegetation (within the meaning of that Part), and their habitats.

Moruya South

1. Require a mix of lot sizes.
2. 5% of new lots to comprise medium density-development.
3. 10% of new lots to be comprised of dual-occupancy development.

4. Riparian corridor objectives and controls are applied and utilised for habitat corridors through the site.
5. Built form is consistent with Moruya Style incorporating the use of shade elements and indoor/outdoor living space (refer Moruya Style).

East Moruya

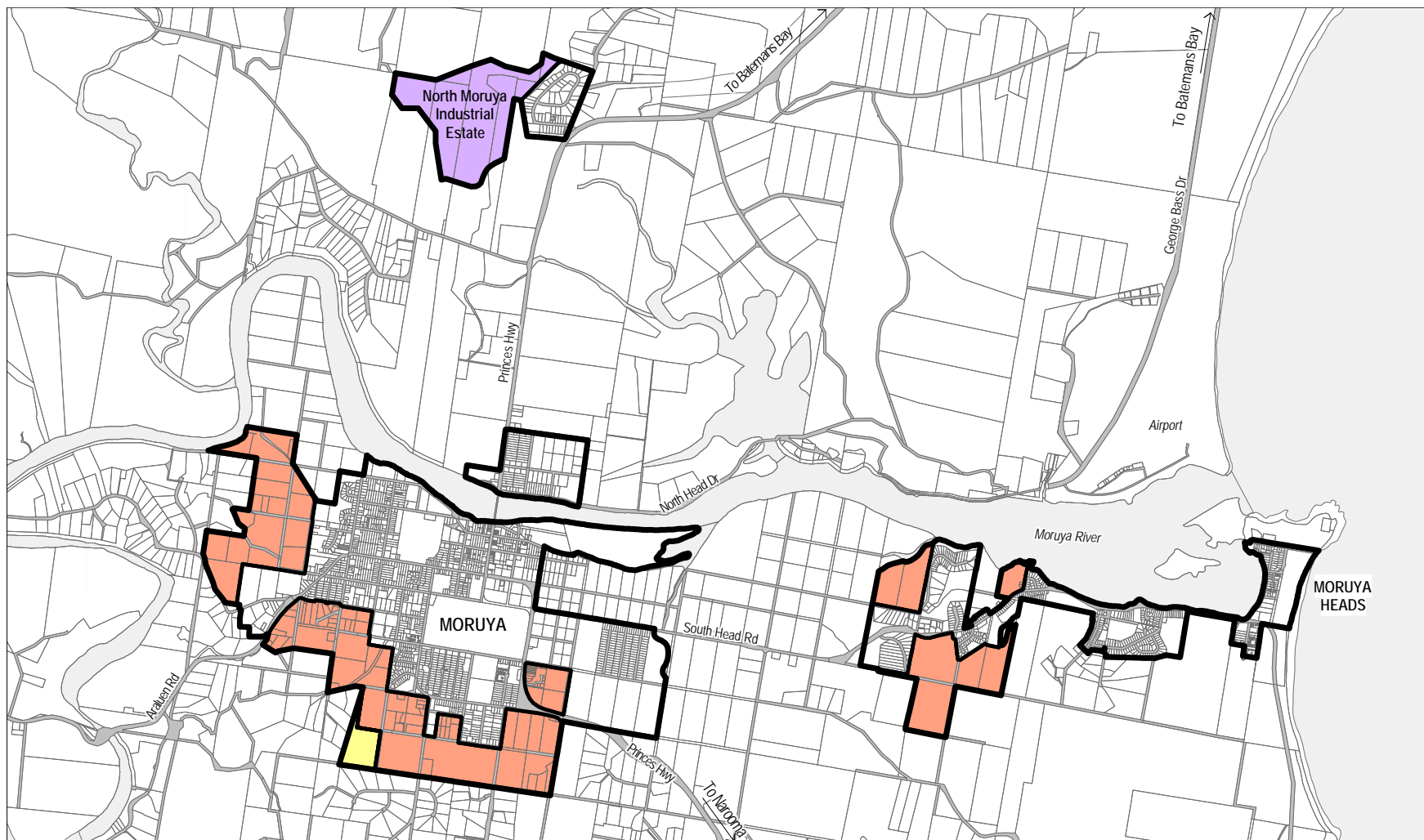
1. Require a 40m landscaped buffer abutting the Princes Hwy. Landscaping within these buffers is to comprise of endemic species.
2. Apply Moruya Style building design guidelines to ensure the local built form character is respected.
3. Require landscape masterplan for the site. Riparian corridors to be utilised in establishing habitat linkages throughout the site.
4. Subdivision layout to build upon existing town layout and promote social interaction ('Gated' communities are not acceptable).
5. The existing Bunya Pine tree and outbuildings listed as Heritage Items located on the Braemar Farm site are preserved as features of any new subdivision.

Moruya West

1. Apply large lot residential zone to provide a transition from urban to rural areas.
2. No development on vegetated ridgelines and knolls (refer to scenic protection map).

Moruya Heads

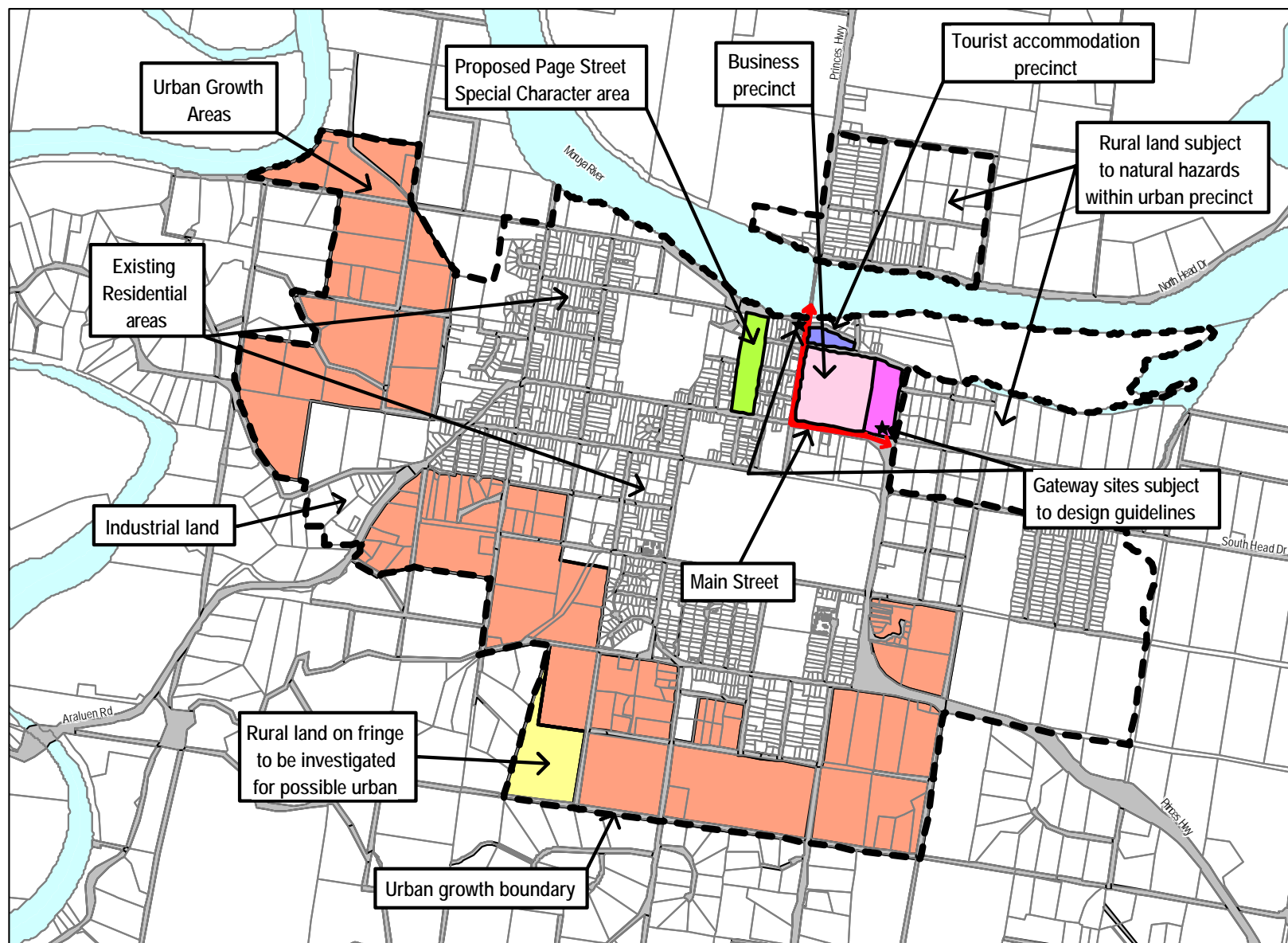
1. Apply Environmental Living zoning maintaining a predominance of landscape over the built form. Minimum lot size for new lots at Moruya Heads is 1,500 square metres. (ESS Action SP19)
2. Require native landscaping to reflect existing coastal bushland character.
3. Informal approaches to street construction incorporating WSUD features rather than traditional kerb and guttering.
4. Built form is of the coastal hamlet style incorporating the use of shade elements and indoor/outdoor living space (refer Moruya Style-Hamlet).
5. Maintain a 40m visual buffer to the settlement entry road (South Head Road).
6. Require tree retention zones on new lots. This is to preserve native vegetation and create a bushland environment similar to surrounding lands.



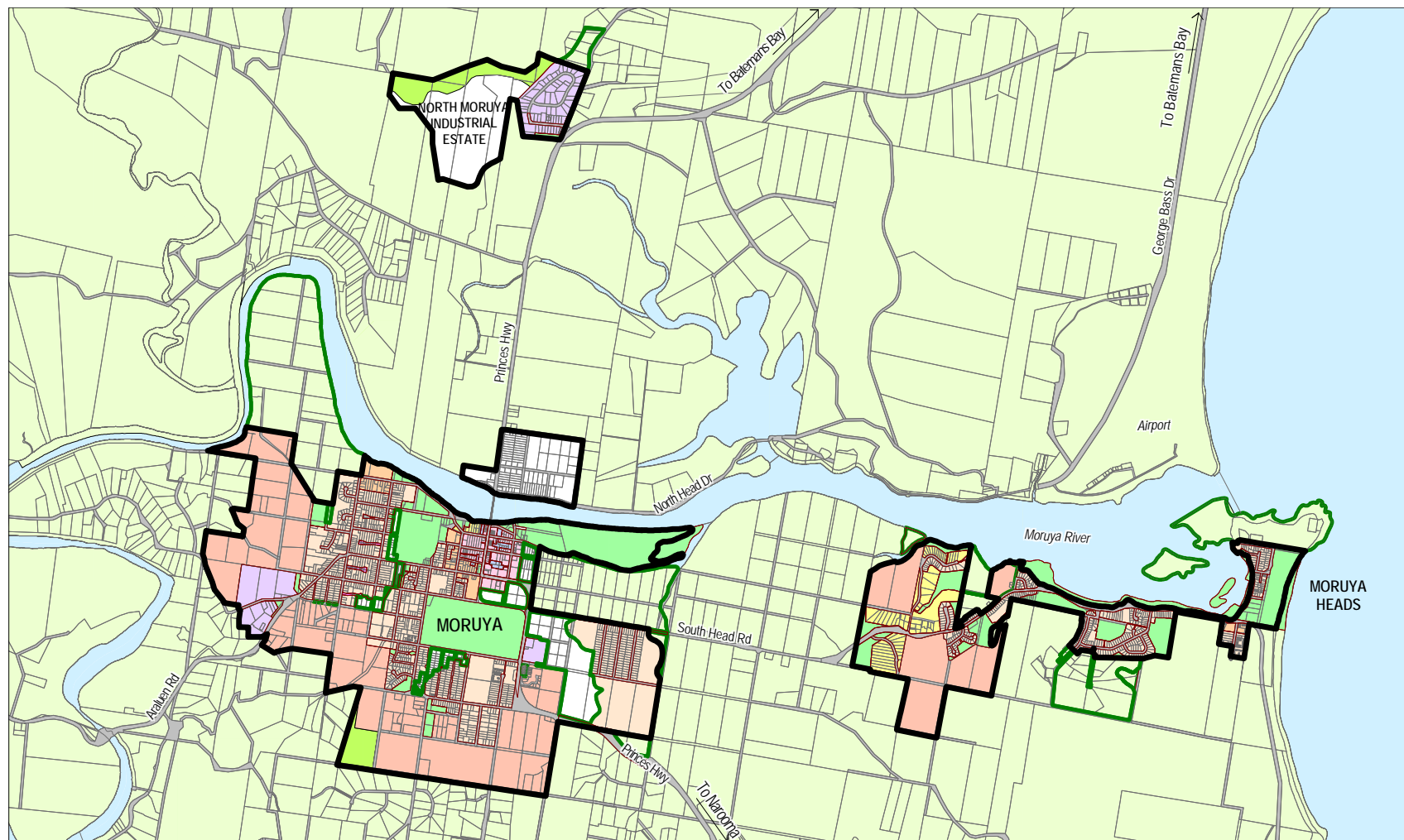
Map Legend

- Proposed expansion of North Moruya Industrial Estate
- Urban Growth area
- Rural residential land to be rezoned to urban

Proposed Growth Areas



Structure Plan Overview



Map Legend

- | | |
|---|-----------------------------------|
| 2g - Residential - General | 5d - Car Park |
| 2t - Residential - Tourism | Urban Expansion 10 |
| 2ec - Residential - Environmental Constraints | Rural 1c land |
| 6a1 - Public Open Space | Rural 1a land with urban precinct |
| 3a - Business | Rural land (zones not shown) |
| 4a - Industrial | Moruya Plan boundary |

Existing Zones