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CONSERVATION MANAGEMENT PLAN

POLLOCK'S GENERAL STORE NERRIGUNDAH NSW



Location: 6 – 8 Gulph Street, Nerrigundah NSW

For: Ms. Maree Burdett

Author: Trevor King

Date: June 2011

CONSERVATION MANAGEMENT PLAN FOR POLLOCK'S GENERAL STORE, NERRIGUNDAH NSW

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CONSERVATION MANAGEMENT PLAN

1.0 Preface

This Conservation Management Plan (CMP) presents information in relation of the owner's wish to seek consent, under Clause 28D of Eurobodalla Shire Rural Local Environmental Plan 1987, to establish a new use for the commercial area of the property. This use is currently prohibited.

Clause 28D of the Eurobodalla Rural local Environmental Plan 1987 states;

28D Conservation incentives

The consent authority may grant consent to the use for any purpose of a building that is a heritage item, or of the land on which such a building is erected, even though the use would otherwise not be allowed by this plan, if:

- (a) it is satisfied that the retention of the heritage item depends on the granting of consent, and
- (b) the proposed use is in accordance with a conservation management plan which has been endorsed by the consent authority, and
- (c) the granting of consent to the proposed use would ensure that all necessary conservation work identified in the conservation management plan is carried out, and
- (d) the proposed use would not adversely affect the heritage significance of the heritage item or its setting, and
- (e) the proposed use would not adversely affect the amenity of the surrounding area otherwise than to an insignificant extent.

Therefore:

1. This CMP must be endorsed by Council (as the "consent authority" required in 28D(b)).
2. Approval for a non-permitted use on a heritage item is dependent upon the proposal being in accordance with the endorsed CMP(28D(b)).

The CMP will examine the proposed changes that are presented in the Development Application and determine whether they are consistent with the protection of its existing heritage values, and necessary in securing the conservation and ongoing viability of the property.

The Development Application that accompanies this plan presents information that is designed to make adaptations to the property sufficient to achieve the modification of its commercial function from a Store to Tea Rooms, along with improvements to the amenity of the residence. This will therefore involve

instituting changes both to the fabric of the building itself and to aspects of the function that the building provides.

1.1 CONTEXT

In general, the format for this document follows the process recommended in "The Conservation Plan"¹, examining the significance of the place and describing policies that are appropriate to retaining that significance within the context of its future use and development.

The proposed changes to Pollock's General Store and Residence must be assessed in relation to standard heritage processes and protocols that underpin heritage practice in Australia. These general practices are:

- 1) *Conservation* meaning all the processes of looking after the place so as to retain its cultural significance.
- 2) *Maintenance*, meaning the continuous protective care of the fabric and setting of the place, and is distinguished from repair. Repair involves restoration or reconstruction.
- 3) *Preservation*, meaning maintaining the fabric of the place in its existing state and retarding deterioration.
- 4) *Restoration*, meaning returning the existing fabric of the place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.
- 5) *Reconstruction*, meaning returning the place to a known earlier state and is distinguished from restoration by the introduction of new material into the fabric, and
- 6) *Adaptation*, meaning to modify the place to suit the existing use and proposed uses.²

Each of these general practices is relevant to the overall development approach that should be instituted in relation to this property, and to the recommendations of this report. However, in order to avoid repeating the investigative work of others, and for brevity, this report seeks to build upon the information base that already exists in relation to the property. The basic elements and sequence usually followed in preparing a conservation plan are shown under the following headings.

¹ The Conservation Plan, A guide to the preparation of conservation plans for places of European cultural significance. James Semple Kerr. National Trust New South Wales 1990

² The Burra Charter, The Australia ICOMOS Charter for Places of Cultural Significance 1999

STAGE 1 CULTURAL SIGNIFICANCE

1. GATHERING EVIDENCE

Documentary Evidence
Physical Evidence

2. CO-ORDINATING AND ANALYSIS THE EVIDENCE

3. ASSESSING SIGNIFICANCE

4. STATING SIGNIFICANCE

STAGE 2 CONSERVATION POLICY

1. GATHERING INFORMATION FOR THE DEVELOPMENT OF A CONSERVATION POLICY

Clients Requirements or Feasible Uses
External requirements
Requirements for Retention of Significance
Physical Condition

2. DEVELOPING A CONSERVATION POLICY

3. STATING CONSERVATION POLICY

4. STRATEGY FOR IMPLEMENTING CONSERVATION POLICY

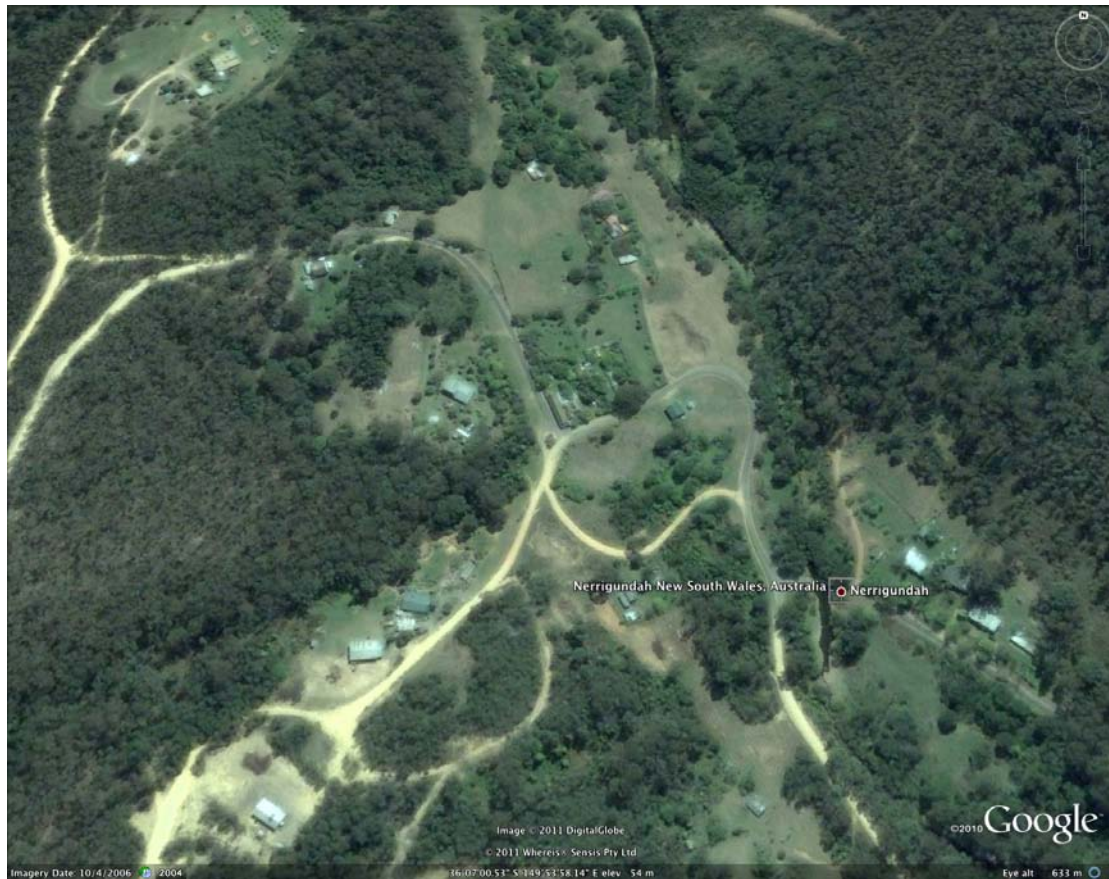
By remaining consistent with the above process this Conservation Plan will ensure that the proposed development will not adversely affect the cultural significance of the heritage item or its setting. This report will present information that is relevant to gaining a more detailed understanding of the place, and that is appropriate to the future management of the property.

1.2 THE STUDY AREA

The study area comprises the property variously known as *Nerrigundah Store* or *Pollock's General Store*, its associated landholdings and outbuildings. The property is located on the corner of Gulph and Moruya Streets, Nerrigundah NSW and is identified as Lots 2 to 6, DP 758765, Parish of Cadgee, County of Dampier, Shire of Eurobodalla.

GPS reference is: 36°07'00.10" S

149°53'58.17" E



1.3 STATUS OF THE STUDY AREA

The land is listed as a Heritage Item in Schedule 1 of the Eurobodalla Rural Local Environmental Plan 1987, in Schedule 5 of the draft Eurobodalla Local Environmental Plan 2009 and in the State Heritage Inventory. The property is also defined as Bushfire Prone Land. Its current zoning is Rural 1(a) and the zoning specified in Draft LEP 2009 is E3 – Environmental Management.

1.4 PRIOR INVESTIGATION

Prior investigation of the property was undertaken by The EJE Group during the Eurobodalla Shire-Wide Heritage Study of 1997. Within the study it is nominated as Item Number NERR/R010. At that time the property was ascribed as being of Regional Significance, however this classification is no longer in use.

A listing card for “Pollock’s General Store – Belowra Road – Nerrigundah” is within the Heritage Inventory and it includes Historical Notes, historical State and Local Themes, Evaluation Criteria and a Statement of Significance.

The listing card provides information that is basic to the analysis undertaken herein. The Burra Charter notes that Cultural Significance ‘may change as a result of the continuing history of the place’ and that understanding of Cultural Significance ‘may change as a result of new information’. These points will have bearing upon the understanding of the property within this report.

Key aspects of the listing are quoted below in order to provide a point of reference for the current study.

KEY INFORMATION FROM THE LISTING CARD

	<i>DATE OF CONSTRUCTION</i>	<i>c 1861 - 67</i>
	<i>BUILDER</i>	<i>James Pollock</i>
	<i>ARCHITECT / DESIGNER</i>	<i>Unknown</i>
	<i>HISTORICAL PERIOD</i>	<i>1851 – 1875 (Built and Used)</i>
		<i>1876 – 1900 (Used)</i>
		<i>1901 – 1925 (Used)</i>
		<i>1926 – 1950 (Used)</i>
		<i>1951 – 1975 (Used)</i>
		<i>Post 1975 (Used)</i>
	<i>PHYSICAL CHARACTERISTICS / DESIGN SPECIFICATION</i>	
<i>a</i>	<i>ARCHITECTURAL STYLE</i>	<i>Victorian Filigree</i>
<i>b</i>	<i>MATERIALS</i>	<i>Weatherboard cladding, corrugated iron roofing, Decorative timber gable ends and finials, Brick chimney</i>

c	CURRENT CONDITION	<p>INTACT</p> <p>ALTERED – UNSYMPATHETIC MODIFICATIONS – Various alterations to interior</p> <p>ADDITIONAL COMMENTS</p> <p>Recent connection of two buildings</p>
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No entries to the card were made under REPAIRS REQUIRED or ALTERED – SYMPATHETIC.

HISTORICAL NOTES

Before gold was discovered in the Gulph Creek in 1861 Thomas Mort ran cattle there. A rush began to the isolated mountainous area and by March 1861 there were three stores, a boarding house, a hotel and a carpenter's shop on the site of Nerrigundah. The area yielded considerable quantities of alluvial gold to a large population of miners including many Chinese. The rush soon passed but the Government laid out a town site there in 1868 and Nerrigundah continued as a small community based on mining and the timber industry. This item was built between 1861 and 1867 by James Pollock as a general store which also served as the Post Office. A residence was also built around the same era, next door. It has since been attached to the store.

James Pollock was married in Glasgow Scotland in 1848 to Margaret Boyle and arrived in Nerrigundah c 1861 with three children. A fourth child was born 1862 at Nerrigundah, followed at regular intervals by a further three children.

Mrs Pollock is known as a local hero for having snatched the key to the safe containing gold from the hand of a Clark Gang bushranger in 1868 and for having thrown it into the street when they raided the town. A current account states the bushranger "after abusing Mrs Pollock with words" looked for the key but the search was interrupted by the arrival of the sick Constable O'Grady, who was fatally shot in the ensuing fight.

The Pollock family remained at the store for the next 88 years, leaving the district in 1949.

The store is of weatherboard structure, has had various changes made to its interior since it was the Post Office / Store. Then, a heavy wooden counter ran the length and breadth of the building with shelves behind on the walls for storage of goods for sale.

The building has served as a Museum, café and tearooms since that time.

HISTORICAL THEMES

STATE THEMES	Commerce
	Transport
LOCAL THEMES	General stores in Nerrigundah
	The Growth and Development of Nerrigundah

EVALUATION CRITERIA

HISTORIC	RARE (Regional)
AESTHETIC	RARE (Regional)
SOCIAL	RARE (Local)
SCIENTIFIC	RARE (Regional)

STATEMENT OF SIGNIFICANCE

The former store has regional historic significance for its role in providing a continuous commercial and community function in Nerrigundah for over a hundred years and for its ability to provide evidence of the early development and layout of this mining town prior to the laying out of the township by the Government and immediately following the Gulph Creek gold rush.

Aesthetically, the scale of this building for a late 19th century South Coast building is quite rare. As it has survived intact for 130 years, it has regional aesthetic significance.

It has high level social significance to descendants of the Pollock family in whose hands it remained for so long, and for the local townspeople of Nerrigundah, for being one of the earliest indicators of economic activity.

Scientifically, it is of regional significance for its potential to contribute to an understanding of the distinctive scale and pattern of early local Nerrigundah commercial development from the mid 19th century to the present day.

1.5 AUTHORSHIP

This report was written by Trevor King, Heritage Consultant and Building Designer, in association with town planner David Seymour of **urPlan** Consulting Services.

2. Documentary Evidence

2.1 Regional Perspective

SOURCE 1: REGIONAL HISTORIES OF NEW SOUTH WALES³ describes the South Coast Historic Region, providing a mining context (State theme: commerce) within which the story of the settlement of Nerrigundah is set.

GOLD AND SILVER

Gold deposits are found in a wide variety of mountains and alluvial valleys from the Tomaga River south of Batemans Bay right down to the high ridge separating the Bega and Towamba river valleys inland from Eden. From 1852, when the Rev. W. B. Clarke first recorded alluvial gold near Eden, right up to the present day, prospecting and mining of all sorts have gone on somewhere along the south coast region.

Within the general description of mining throughout the historic region, the document states,

A much more determined effort was made at Nerrigundah, near the Tuross River and due west of Bodalla. Gold had been found there early in the 1850s and by 1861 200 to 300 miners (soon joined by many Chinese) were scattered along 10 kilometres of Gulf (sic) Creek, a tributary of the Tuross. The creek is still hard of access and in most of the mining area in the 19th century no bullock wagons could gain entry. None the less the number of miners increased to around 400 and the township of Nerrigundah expanded. The gold field had remarkable staying powers. A ten-head battery was erected in 1900, new shafts were sunk on Mount Eutopia, 16 kilometres to the west, and ore was brought with great difficulty to the Tinpot battery at Nerrigundah.....shaft mining was, however, failing to be economic and the new technology of dredging (introduced from New Zealand in 1899) was tried instead: a dredge was built at Nerrigundah itself because there was no way that one could be transported from the coast, and it was probably used in 1902-03.....this bravura dredge-building on a precipitous creek was the last fling of the Nerrigundah miners and the town and district quietly faded away. The store in the town closed in 1977 and the only building left today is a sawmill.

Though the last sentence of the quote is probably an inaccurate description of the town in 1977, the connection with the theme of mining is made clear.

³ Regional Histories of new South Wales; Heritage Office and Department of Urban Affairs and Planning, 1996 Pgs. 162 - 181

The state theme of Transport, and the difficulty of establishing transport networks through the rugged terrain of the South Coast in general, is well represented within written sources.

There is no coastal plain, rather a series of valleys containing settlement, separated by ridges and plateau of wooded country.

The feeling of isolation for early settlers, and the attempts to overcome it, is written throughout the settlement stories of the south east region.

The Conclusion to the section on the South Coast Historic Region contains two salient paragraphs, being,

The south coast is a long way away. Unlike the Murray region it did not develop a special relationship with Victoria and communications with Sydney were dependent first on sailing-boats and then, after 1858, on the steamships plying the coast from their Illawarra base. As a result the area developed slowly.....

The forested hills which separate the fertile valleys are rich in minerals and there was a long succession of attempts to win primarily gold but also silver and for a short time arsenic, mainly from the mountain creeks and hillsides. This brought outside capital into the area and has left manifest physical scars and important equipment not yet systematically recorded.

2.2 The town of Nerrigundah

SOURCE 2: The EUROBODALLA ALMANAC, A Chronological Overview of the Growth of the Shire of Eurobodalla⁴ presents condensed information from which the following timeline, outlining milestone events in the town's history, has been extrapolated:

1850 Nerrigundah first settled

1851 Gulph Creek, Nerrigundah – Gold found. No official notification of find until ten years later. By then there were already several hundred miners in the area.

1861 Gulph Creek, Nerrigundah – June – Gold field officially recognized. Rush of diggers from Araluen. Much claim jumping and rioting. The find had been made in 1851 but information was withheld.

Nerrigundah – It was reported that at the height of mining activity at The Gulph diggings the town had a population of 11,000 including thousands of chinese diggers.

Court opened

Roman Catholic church and school opened

Official Post Office opened. Mail was delivered by packhorse twice a week via Bodalla. Closed 1910.

1862 Nerrigundah to Wagonga – Road opened. This caused a lowering of freight charges and helped to open up the district.

Nerrigundah – October – Independent police station and police barracks established, staffed by police from Moruya.

1863 Nerrigundah – Provisional school opened.

1866 Nerrigundah – April – Township held up by the Jingera mob (the Clarke gang). Constable Miles O'Grady, although ill, challenged the bushrangers. He shot one of them but was himself fatally wounded. Mrs. Pollock of Pollocks Store cleverly retrieved the cashbox keys from one of the bushrangers and threw them out the window, thus saving the store's gold. One version of the story of the raid has it that the bushrangers fled when a screaming mob of Chinese gold diggers waving sticks and torches came racing into town. A posse chased the gang but they escaped. They later held up the towns of Michelago and Araluen.

⁴ Eurobodalla Almanac, A Chronological Overview of the Growth of the Shire of Eurobodalla; Moruya & District Historical Society, 1991

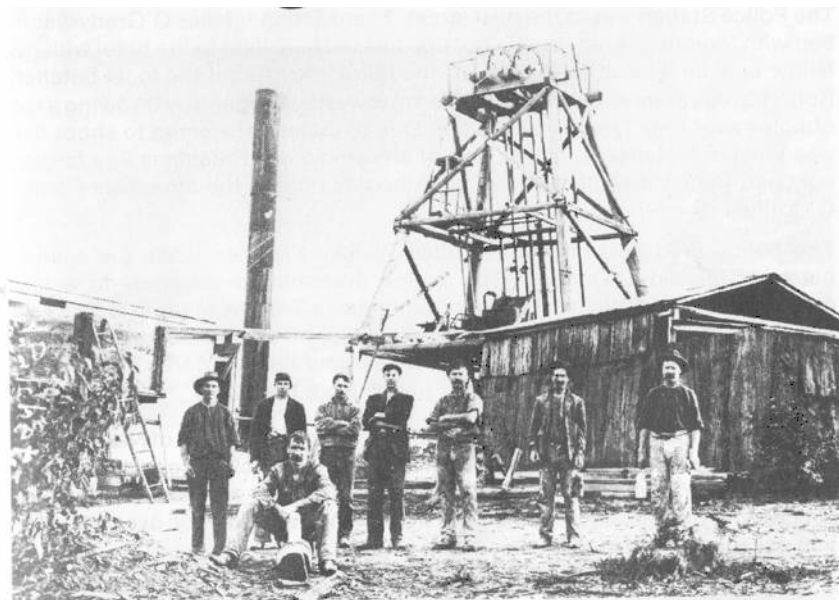
- 1867 Nerrigundah – Town surveyed. Land sales held 1870.
- 1872 Nerrigundah – Public School opened. Closed 1945.
- 1881 Nerrigundah – Police station closed. Re-established 1888. Finally closed 1925.
- 1883 Nerrigundah – Heavy flooding.
- 1890 Nerrigundah – Telegraph Office opened.
- 1893 Nerrigundah - Many houses washed away, shafts flooded.
- 1897 Nerrigundah – First reef mine opened. Alluvial gold scarce. (The image below is of a gold dredge at Nerrigundah in 1897.)
- 1898 Nerrigundah – Persia Campbell born. Her brilliant academic career covered three continents. She also acted as adviser to Presidents Kennedy and Johnson, and became a pioneer advocate for consumer rights. Emerita Professor Campbell died in 1974.
- School of Arts built.
- 1900 Nerrigundah – Obelisk erected by the Government of New South Wales in memory of Constable O'Grady's gallant action during the bushranger's raid on the town in 1866.
- 1902 Gulph Creek – Gold dredge built
- 1904 Nerrigundah – New Court House opened.
- 1909 Nerrigundah – Bushfire. Town saved with some difficulty.



- 1913 Nerrigundah – Eucalyptus oil distilleries in action.
- 1920 Nerrigundah – Re-opening of eucalyptus oil distillery.
- 1925 Nerrigundah – Police station closed.
- 1927 Nerrigundah – Police Station and Court House moved to Bodalla. The building is still in use as the Bodalla police station.
- 1931 Nerrigundah – Mt. Coman gold mine re-opened. It ceased operation in 1950.
- 1945 Nerrigundah – Public school closed.
- 1959 Nerrigundah – Timber getting and sawmilling increased, reviving the town. The school was re-opened, using the School of Arts building.

SOURCE 3: THEN AND NOW⁵ has a section on Nerrigundah that mainly presents information on the story of the raid by the Clarke gang. The introductory paragraph states,

Gold was discovered in the Gulph, Nerrigundah, in January, 1861, by Messrs. Cooke and Goodenough. By 1866, the population was 1200, including many Chinese, living in a substantial township with five hotels, a court house, a police station, a Chinese store and several other shops.



Mine Shaft, Nerrigundah.

⁵ THEN AND NOW A scrapbook of places and events in the history of Moruya and district, updated with photographs taken in the bicentennial year; Moruya and District Historical Society Incorporated, 1988.

SOURCE 4: Nerrigundah AN ANECDOTAL HISTORY⁶ provides detailed information on the town and stories about the people and society that evolved there. The Introduction contains a succinct overview of the history of the town.

Nerrigundah, an aboriginal word meaning “Place of Many Berries” is now a tranquil village, nestled in a long valley surrounded by rugged mountain wilderness. The tranquility is broken only by the echoes from the past of men who toiled, sweated and killed for gold.

With the discovery of gold came all the trappings of mining life. Hotels with imported dancing girls, shanties and sly grog shops; tents, shacks and bark huts, schools and grand homes – the valley was alive....

By the turn of the century most of the alluvial diggings were deserted and reef mining had taken over. Reef mining continued into the 1930s, some of which was done at the time by young men from the city, made jobless by the depression, who drifted to Nerrigundah in search of gold.



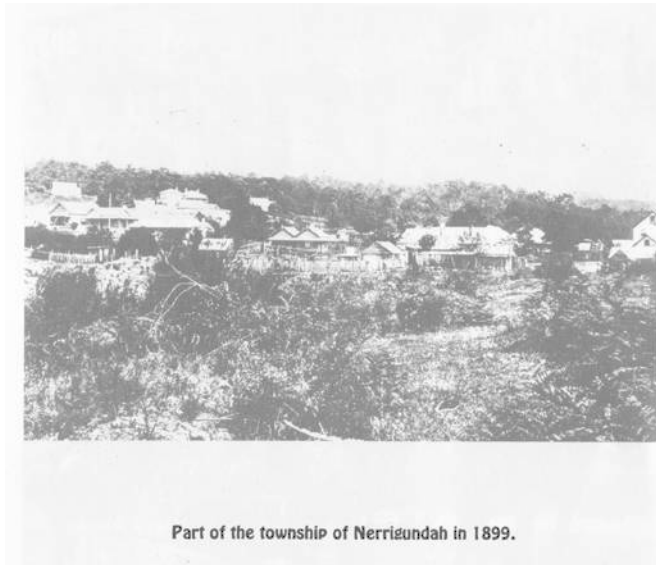
Nerrigundah Township. Dredge in the foreground. Approximately 1900.

By the 1940s and 50s there remained only an old timer here and there, fossicking in the creek, or working the old shut down mines.

Within the section on the town's discovery the author alludes to an earlier European engagement with the valley,

Prior to the discovery of gold.....Nerrigundah and its valley were used as a cattle run by Thomas Mort of Bodalla.

⁶ Nerrigundah AN ANECDOTAL HISTORY, Maureen Burdett 1992



SOURCE 5: PICTURES FROM THE PAST⁷ contains a number of images within the context of Nerrigundah's mining heritage as well as an image of the town (left) that shows the subject property at the left hand of the frame.

The last two images show a township that was well established and each demonstrate that Pollock's General Store was an important contributory building within the historic

urban form. The photographs also clearly demonstrate the extent of the loss of urban fabric that has taken place with the passing of time.

The enlarged part of the image shown below provides evidence of the store (which appears foreshortened) and residence as they were configured at that time. The addition to the store had comprised the Produce Store, Butcher Shop and Servant's Quarters and it occurs from the point when the existing change of floor level occurs. Mining had almost ceased by 1892 and it is likely that, as the Gold Exchange became less important to the functioning of the building, new uses and diversified services for the store's clientele became necessary. A bulk produce depot and butchery were useful in increasing the functional capacity of the development.

The ability of contemporary viewers of the town to see and to understand the store's former formerly important relationship within the urban form has been diminished by the extensive loss of the town's built fabric over time and by the growth of native plants which have obscured former views.



⁷ PICTURES FROM THE PAST, Moruya and District Historical Society

SOURCE 6: BEHIND BROULEE⁸, Pages 43 – 51 presents a more detailed view of the town's history. The State theme of Commerce (Mining) and the local theme of The Growth and Development of Nerrigundah take precedence, along with the exploits of the Clarke gang. As in other publications, an image of the memorial to Constable O'Grady is shown. Its adjacency to Pollock's General Store and at the central intersection of a number of streets make it clear that, in combination, both the store and monument have made a vital and continuing contribution to Nerrigundah's evolving sense of place.

Key statements in relation to the themes of mining and urban development, and to the subject property are presented below.

In June (1861) it was reported, "The field is weekly extended.....the population is supposed to amount to 500 souls....Several new buildings have lately been put up in the township of the place." The post office was opened in September with Edward Smith, storekeeper, as postmaster.....

The township at Nerrigundah or the Gulph diggings grew space.... In 1866 Balliere's Gazetteer said of it, "There is a post and many order office, a court of petty sessions and four hotels, the Criterion, Digger's Retreat, Free Selection and Australian. There is a Roman Catholic and a Presbyterian church in the township and two cemeteries in the vicinity."

It turned out to be one of the richest alluvial goldfields ever discovered in new South Wales, its gold being the purest. In 1864, 7464 ounces of gold, valued at 30,449 (pounds) left under escort. Two years later the town population was 500 and in the goldfield district 2000, 800 being employed goldmining.

The town was surveyed by Lindo in 1867; his design was approved by the Lands Department and the village site reserved the following year. The land sale was held in April 1870. The principal streets were Gulph, Moruya and Short Streets. In 1868 James Pollock had a bakery, store and inn, and Martha Guest had an inn in Gulph Street in 1871, when the population was 483. Pollock's name was a household word there. He took an intelligent interest in the affairs of his township and did much to further the development of the mining industry. He died in 1901. His son continued with the store until 1948 when he retired to live at Bundanoon on the Southern highlands.

The Presbyterian Church site was dedicated in 1870. The first public school began as a national School at Nerrigundah in November 1863. A public school was erected in 1884.

⁸ BEHIND BROULEE, HISTORY OF EUROBOODALLA SHIRE Central South Coast New South Wales, William A, Bailey 1978

Progress and mining continued but its scale diminished with the passing years.

In 1888 it was said at Nerrigundah, "Mr Pollock.....this enterprising township is no doubt the backbone of the mining enterprise at Nerrigundah.....A great many new buildings are in (sic) course of construction...Mrs. Hardy's large, commodious and well kept hotel was evidently built in anticipation of a large influx of population."

In 1893 the township of Nerrigundah was flooded, many houses being washed away and shafts filled with water, but later the same year it was reported, "Our township is beginning to look quite like a respectable little city.....The hills and hollows that made two of our main roads so dangerous have been levelled, streets rounded off, covered with pebbles and drained by decent gutters. (sic)"

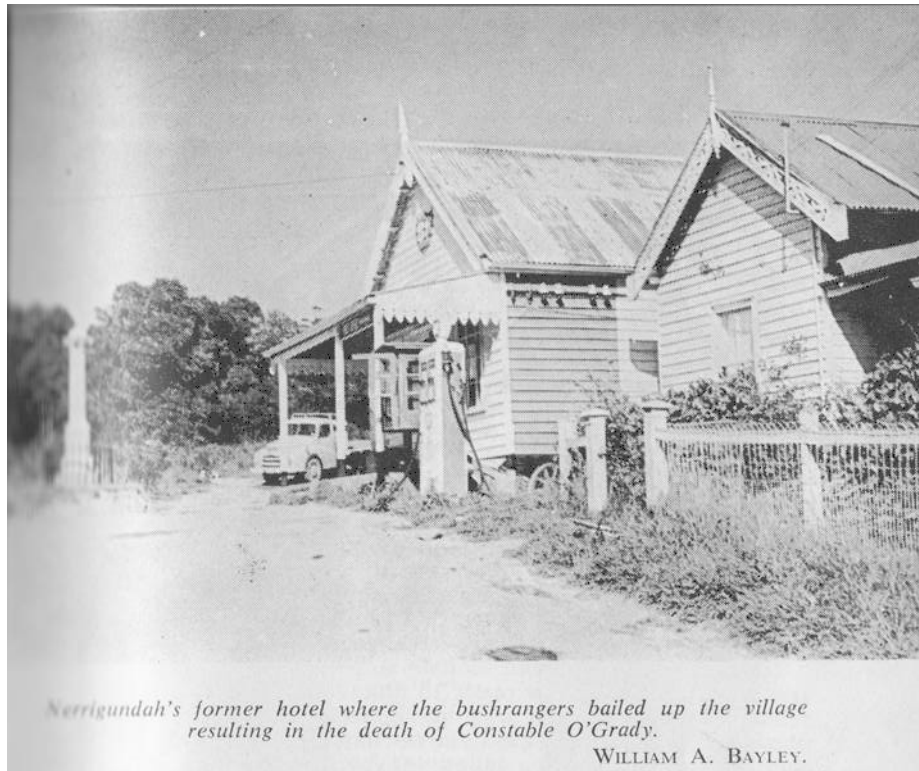
In the new century Nerrigundah was struggling for survival. The "Tilba Times" in August 1900 said of it, "In the township itself extreme quietness reigns.....a few years ago it had been one of the most important and prosperous mining towns in the Colony.....Some vitality still exists, however, as is evidenced by the lately built school of arts, a splendid building.....There are also two churches, the Roman Catholic and the Church of England, and about half a mile out of town, a Chinese Joss House.....The public school....has about 35 pupils, and is prettily situated a few hundred yards from the business centre of the town.....There is only one hotel in Nerrigundah, a large and commodious building...."

A new court house was built in 1904. In 1920 eucalyptus was being distilled at Nerrigundah.....

But the golden days were over and from that time the Gulph, which had produced over a million pound worth of gold, weighing 38 tons, has been pictured,Almost deserted goldfields with all their troops of ghosts gone by with nothing to show for it....In the middle of what was once the main street stands the monument to Miles O'Grady... Opposite the monument is the store and post office....There are two or three churches and a hall...There is no resident constable...old cemeteries covered with blackberries and the headstones barely legible...."

The mid-twentieth century saw a revival in sawmilling and timber getting, the logs and timber being taken out over the mountain by semi-trailer timber trucks. To meet the needs of the mill families a school was re-opened in the hall in 1959 and a new school building opened in 1961.

On page 47 a photograph of the subject property appears. Its relationship with the monument and key position at the corner of thoroughfares is clearly shown. The image, from the late 1970s, appears on the following page.



SOURCE 7: NERRIGUNDAH⁹ Background Notes and Field Units written by the Bournda Field Studies Centre is a document that provides information that is centred on the theme of mining. The urban landscape and the spread of the people it serviced are described as,

Nerrigundah, the chief town on the Gulph goldfield, was situated on Gulph Creek, a tributary of the Tuross River, in a long narrow valley between the heavily timbered, steep mountains of the coastal range. In 1866 the town consisted of some 150 rough buildings, including seven hotels.

There were about 500 people in the town, but hundreds lived on other fields around Nerrigundah in such settlements as Bombo, Deep Creek and Tinpot. These centres made the Gulph Field one of the richest in the colony and provided a distinctive kind of gold that many experts regarded as the purest found in the colony.

A list of residents of the town and district in 1872 provides interesting evidence of the urban-based services available to mining families.

Ah Quoy, storekeeper; Ah Sing, storekeeper; Henry Cowdroy, storekeeper; Nay Sen Hang, storekeeper; Don Sutherland, storekeeper; John Aliffe, blacksmith; Edward Bourke, teacher; E. Burrows, midwife; John Bussey, bootmaker; John Danman, teacher; Tom Florey, butcher; Chas Gibb, carpenter; Martha Guest, innkeeper; James Pollock, innkeeper; James Irwin, senior constable.

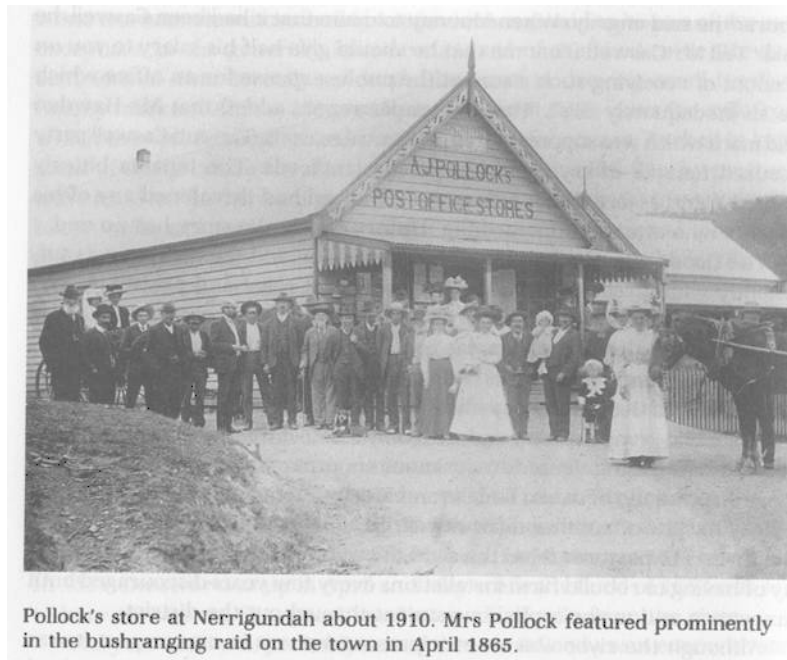
⁹ NERRIGUNDAH Background Notes and Field Units, Bournda Field Studies Centre, Jack Miller. Page 15

The document outlines the succession of people, including innkeepers and storekeepers, who had preceded James Pollock as postmaster when he assumed the job in 1887. By that time,

The bulk of the population now consisted of Chinese, there being very few white people. An inspector who visited the town in 1892 stated that it was becoming deserted as mining had almost ceased. There was still one hotel, a school, post office store, and a Chinese store.

A.J.M Pollock succeeded his father as postmaster on 2nd May 1898. James Pollock, brother to the postmaster, took charge on 5th March 1909.

SOURCE 8: Eurobodalla History of the Moruya District¹⁰ reiterates the general themes of commercial activity through mining, problems with transportation and the settlement and growth of the town.



Pollock's store at Nerrigundah about 1910. Mrs Pollock featured prominently in the bushranging raid on the town in April 1865.

Gulph Creek runs through a steep inaccessible valley but the difficulty of access to a find rarely deterred genuine prospectors and (surveyor) Bansby was able to report (in 1861) three stores, a boarding house, a hotel under construction and a carpenter's shop.

.....by the time of the great raid (1866), Nerrigundah was already past its prime and seemed doomed.....yet somehow Nerrigundah refused to die. Prospectors combing nearby valleys kept opening up new mines. None were Eldorados but a steady trickle of gold was enough to keep a small mining town alive and Nerrigundah never became anything more than a small mining town. Curiously enough however it proved in the long run to be more reliable than Araluen.

¹⁰ Eurobodalla History of the Moruya District, H.J. Gibbney 2007 Pages 62 - 66

SOURCE 8: THEMATIC HISTORY OF EUROBODALLA SHIRE¹¹ is also useful in providing a succinct summary of the town's history. The theme of Country Town development and decline is outlined below.

Before gold was discovered on the Gulph Creek in 1861 Thomas Mort is alleged to have run cattle there. A rush began to the isolated, mountainous area and by March 1861 there were three stores, a boarding house, a hotel and a carpenter's shop on the site of Nerrigundah. The area yielded considerable quantities of alluvial gold to a large population of miners including many Chinese. The rush soon passed but the Government laid out a town in 1868 and Nerrigundah continued as a small community based on gold mining.

Reef mining became the mainstay of the town in the late Nineteenth Century, the Mount Pleasant mine being one of the most important. From an estimated 11,000 at the peak of the rush the population declined to a few hundreds but the community supported Catholic, Presbyterian and Anglican churches and enjoyed a variety of sporting and social activities: there was a School of Arts and a Recreation Reserve.

Some Chinese remained in the town as storekeepers and the joss house was in use in 1891.

The last mine in the area closed about 1950 but a timber mill opened about 1960 and lasted until the 1980s, helping to ensure the survival of Nerrigundah.

Further on, the document links Nerrigundah to the themes of Mining, and Ethnic Influences as shown in the following extract,

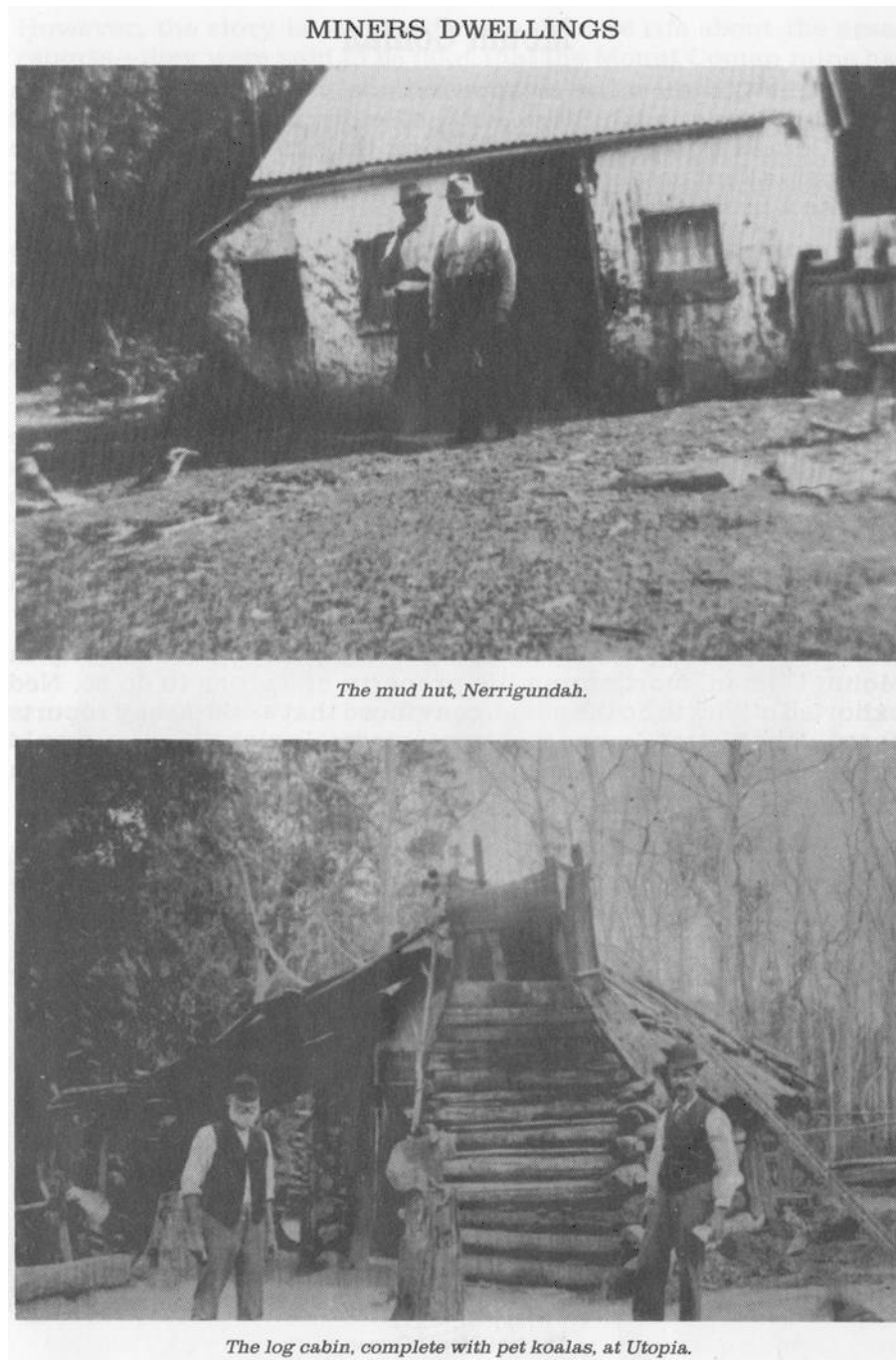
The Chinese were strongly represented in the goldfields and, as elsewhere, they moved on into storekeeping, market gardening, fishing and the clearing of bush on contract. Their presence will be evident in cemeteries and possibly in building styles. At Nerrigundah they built a joss house, had cemeteries and used ground cooking ovens.

¹¹ THEMATIC HISTORY OF EUROBODALLA SHIRE, J.W. Turner, Hunter History Consultants 1996

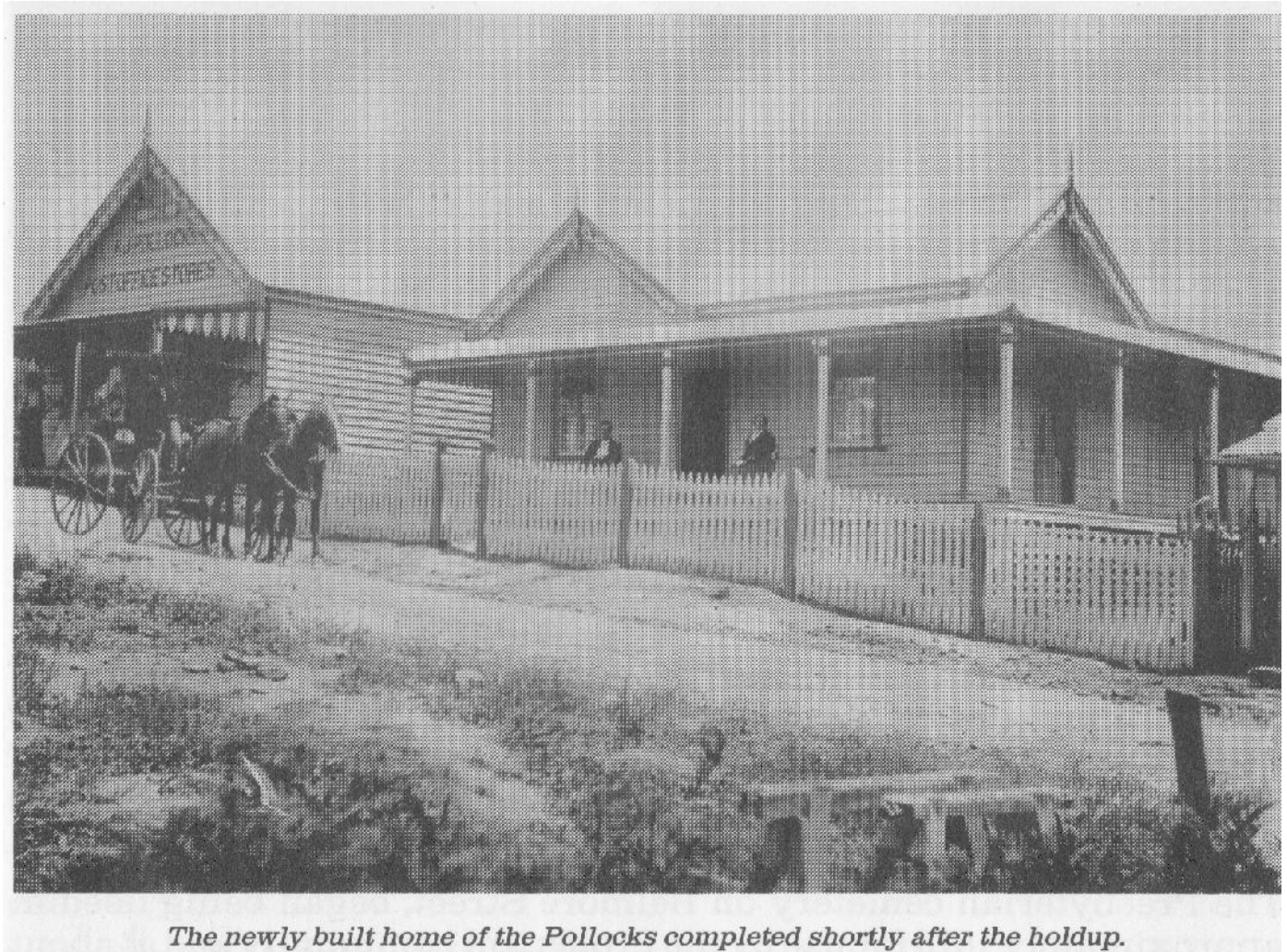
2.3 The property

The most detailed information about the subject property is contained in Nerrigundah AN ANECDOTAL HISTORY (SOURCE 4).

Some idea about the relative scale and high degree of amenity that the store and residence provided for the Pollock family can be gained by comparison with the following two images which show how the more itinerant miners lived.



One image from the book (below) shows the newly built Pollock's Store. It provides clear evidence of the fact that the front gable to the residence was extended at a later time in the building's history of residential usage. Other photographs of the historic façade do not demonstrate this evidence as clearly. The image provides an excellent source of information for the restoration of detailing within this CMP.



The newly built home of the Pollocks completed shortly after the holdup.

Page 15 of the publication provides other information that is useful to this study, and the relevant paragraphs are quoted below.

The Pollock Family

There is a store in Nerrigundah with residence attached. Of course the residence hasn't always been attached. In the days of the Pollock family, there was a narrow shady lane that ran between the two.

The residence, a beautiful old weatherboard structure, a wide hallway centrally running its length with large, airy, high ceilinged rooms branching off it, the verandah around three sides and gardens full of cottage plants, herbs and spring bulbs, is not much changed since the first Mrs. Pollock of the "Gulph" started her family there.

The store is a wide, long building that has had various changes to its interior since the Pollock family ran it as Pollock's Postoffice(sic)-Stores. Then, the heavy wooden counters ran the stores' breadth and length, backed behind by shelves to the ceiling, groaning under the weight of anything and everything needed or wanted by the miners and their families. If perchance the desired item was not on those shelves, then the Pollocks would order it in.

This, then was the home and business of the Pollock family for eighty eight years. Strong personalities one and all, that have imbued these buildings with their presence and although we are the sixth family to have lived and worked under these roofs since the Pollock family left in 1949, we do not have a sense of total ownership, more that of owner in caretaking. Caretaking for whom, we are not certain. It could be the owner of the footsteps that pace the verandah, or the lady who walks the length of the hall, thence to the front gate, or even the gentleman in black who awaits her there. Or perhaps it's whoever or whatever knocks on the wall where the lane used to be.

The nostalgic stories arising from the Pollock family's occupation of the property are an important part of its sense of place. The following photograph from the 1950s is instructive because it shows the store with a small gabled structure almost abutting its north west corner, along with the overall scope of development within and adjacent to the property.



The corridor that ran between the store and residence was blocked by the construction of a chimney when the kitchen was moved from an outer building into the rear of the residence. An elderly local informant, Ka Rooke, recalls looking through the passage of the residence and seeing the pots and pans of the kitchen in a small separated building to the rear. The building had a bullnosed awning that faced the bullnosed rear verandah of the house. The small gabled structure in the image may therefore be the former kitchen building.

The image is also helpful in that it demonstrates that a timber window was inserted into the western façade along Moruya Street sometime after the 1950's and certainly after 1966 when the image at the bottom of this page was taken. The BP sign on the building's side appears again, as a remnant smudge in the paintwork, in the image on the following page. This indicates that the horizontal sash window was inserted into the built fabric in the 1970's.

SOURCE 9: 100 YEARS AGO Volume IV
Extracts from the Moruya Examiner for the year 1902

(The volumes mostly contain news references pertaining to mining and to the prospects of mining activities continuing on in to the future.)

Page 45 December 12th, 1902

Several new buildings are being erected. The old buildings which did duty as Police Station and Court House in the early days have been pulled down. This is where O'Grady lay ill when the bushrangers arrived, and faces the monument which was erected to his memory. On the site, a new store and dwelling is being erected by Mrs Pollock.

This is certainly an intriguing piece of evidence in that it does not accord with other construction dates for the buildings. It may be that this reference points towards the extension of the front bedroom of the residence which certainly occurred after the house's initial construction phase.

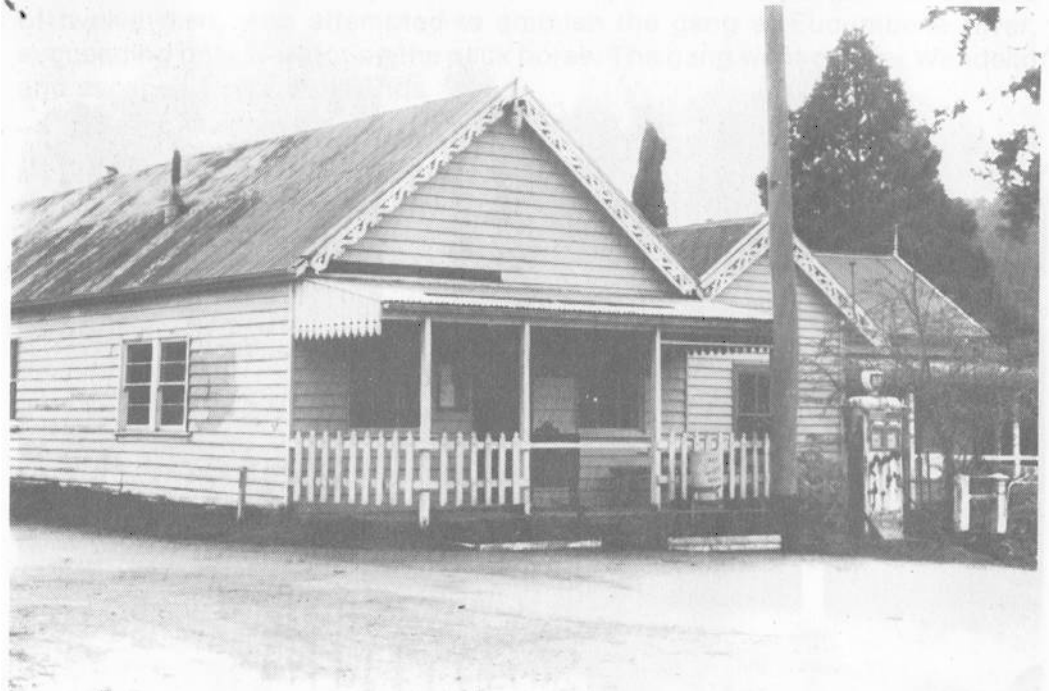
SOURCE 10: PHOTOGRAPH FROM COMMEMORATIVE BROCHURE
100TH Anniversary shooting of Constable Miles O'Grady, 23 April 1966



The Nerrigundah Store

SOURCE 11: THEN AND NOW

The store was still trading in 1988 when the image below was taken. The remains of the former BP sign are seen adjacent to the new window.

**SOURCE 12: HISTORY CORNER, Moruya Historical Society Inc,**
Notes Nov. 1977

Nerrigundah itself has lost the character of a village, especially since the last shop was closed not long ago.

SOURCE 13: SOUTHERN SUN March 1986

Title: Take time to see Nerrigundah

While there make sure to stop at what was the general store, now occupied by Ka Rooke. Ka has what he describes as a "free museum" with exhibits of the old goldmining tools and some interesting old photos. Ka serves afternoon tea in his little shop which is still relatively untouched from its original state.

A guide of sites and buildings which remain in the village was written by brothers Norman and Van Dickson in 1981. Both lived and worked in the area for many years.

SOURCE 14: THE EXAMINER, 23/06/1993

Title: Nerrigundah land, shops to auction

The Nerrigundah store will be offered for sale by auction on Sat. July 24 and include five blocks of land (about two acres) all the chattels in the teahouse and, of course the business.

2.4 CONCLUSION

The documentary sources quoted above have provided general evidence in support of the nominations within the listing card. In combination, they make reference to the historical themes of Commerce, Transport, General stores in Nerrigundah and The Growth and Development of Nerrigundah. The images also convey an incomplete, yet tantalizing view of changes to the building that have taken place over time.

The property is certainly important in providing an opportunity to understand Nerrigundah's local history but its wider role within the development of the region should not be understated.

It is clear that there is scope for future investigations into the written and oral evidence associated with this property. Though limited, the evidence presented here can be seen to provide a useful beginning to a process that will remain ongoing as a more complete understanding of the property continues to develop.

3. Physical Evidence

3.1 Identification and Analysis of Existing Fabric

The property known as Pollock's General Store and Residence comprises Lots 2 to 6, DP 758765, Section 3, in the village of Nerrigundah, Parish of Cadgee, County of Dampier, Shire of Eurobodalla. European elements of the property comprise the following:

- The store
- The residence
- Outbuildings
- Garden and setting.

Each of these elements is described in this section.

3.1.1 The Store

3.1.1.1 Building exterior

Documentary evidence indicates that the store was constructed around 1861 - 62. The form of the original building has changed, having been subject to an addition to its length with the creation of the unlined Produce Store, Butcher Shop and Servant's Quarters (both of which were internally lined), and the east facing verandah. A number of other changes have been made to details of the fabric. Unsympathetic additions to the historic appearance of the store include a horizontally profiled sash window located close to the south west corner and the less visible, poorly built structure that connects the building to the adjacent residence. In general, the building is in poor condition having suffered many years of neglect, lack of maintenance and the removal of significant fabric such as the extensive shelving that contributed much to the character of the interior.

Typical of other such buildings in this consultant's experience, the building was constructed too close to the ground with inadequate protection from subterranean termites. In combination with lack of maintenance of gutters, especially on the long south west side at the highest natural ground level adjacent to Moruya Street, inadequate sub-floor ventilation and poor drainage this failure resulted in increased retention of moisture levels within the soil, leading to major termite infestation of the structural hardwood framing in the walls and floor. Wall battens that supported the pressed metal interior lining were also extensively damaged. The weatherboard external wall fabric is generally sound. Most of the hardwood floor is still in sound condition.

Some roof sheet overlaps are deteriorated but the fabric still performs its protective function adequately. Different branding on the underside of the sheets indicates that individual sheets may have been subject to replacement over time. Gutters need replacing, re-grading and the number of downpipes increased. The quality of concrete floors is poor. These are located at the traditional front verandah entry and within the private room located at the northern end.



The deteriorated condition of the hardwood piers is demonstrated in these images. Inadequate support provided by the piers resulted in subsidence, the sub-floor structure being, in some cases, left suspended, and twisting of the frame. Undamaged roof framing provided the necessary structural integrity, holding the building together and limiting further structural damage. Roughly laid stone landscaping, shown below the damaged piers, contributes to the retention of on-site moisture and its uneven surface is a hazard to safe travel.





Evidence of termite damage to studs



Poor amenity at door threshold

Image below shows deteriorated window, sill and surface protection for wooden and glazed elements.





The close proximity of the bearer/bottom plate to the ground is shown above. The image below demonstrates that floor level in the most westerly area of the store is situated below the level of the street, which is located at the base of the paling fence.





Missing barge board and roof capping to western gable.
Missing base element to decorative barge at eastern front verandah entrance
and unsympathetic placement of TV antenna





Poor quality concrete at eastern front verandah entrance

Condition of building elements	
Nerrigundah Store exterior	Condition
Gabled corrugated iron roof and roof structure	Appears generally sound though some roof sheets may need to be repaired or replaced. Evidence of past replacement of sheets.
Guttering and downpipes	In poor condition, requiring replacement. Inadequate number of downpipes and uncontrolled discharge of stormwater contributing to damp sub-floor.
Hardwood framing	Bearer/bottom plate and base of studs extensively damaged along the western wall. Extensive damage to sub-floor timbers due to close proximity to ground, poor drainage and termite infestation.
External wall fabric	Hardwood weatherboards in generally sound condition, requiring re-nailing in places. Condition of painted surfaces is poor.
Decorative timber gable	Base element missing on one side

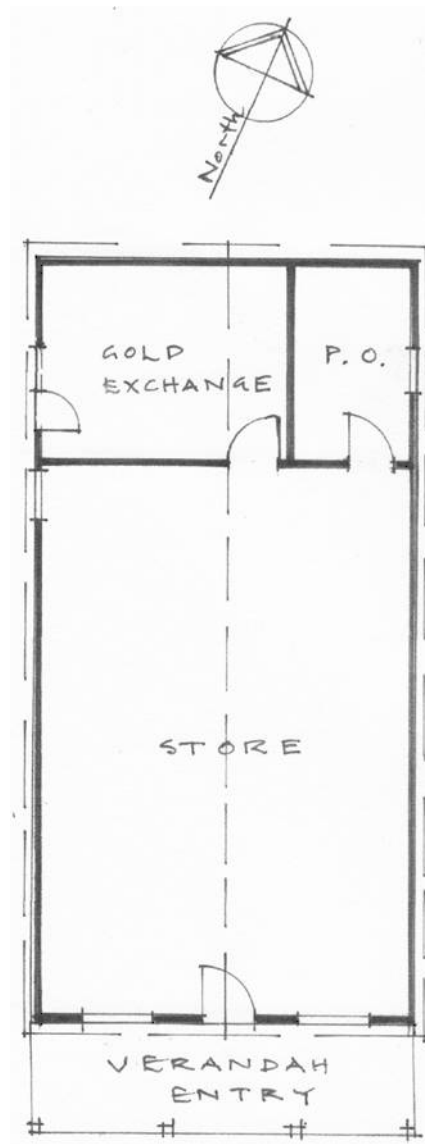
Plain timber gable	Entire element missing on one side
Windows	Appear to be in sound condition but re-puttying and painting required.
Front doors	Generally sound condition
Verandah structures and cladding Front verandah Northern verandah to courtyard	Overall fabric in sound condition. Base of posts deteriorated and needing to be re-supported. Overall fabric in sound condition though the structure has subsided and requires rebuilding.
Concrete verandah floor Concrete floor in northern room	Poor quality of original construction has resulted in a soft surface that is subject to ongoing deterioration. Poor quality of original construction has also resulted in a soft surface that is inadequate for a habitable space.
Rear doors and windows	In reasonably sound condition but re-puttying and painting needed.
Immediate curtilage	Constructing the building too close to the ground means that remediation works will require changes to the areas immediately around the store. Adequate drainage must be assured and the ongoing retention of moisture within the ground below the building must be minimized.
Timber doors facing Moruya Street	In sound condition requiring maintenance and painting.

3.1.1.2 Building interior

The single storey building is divided into three rooms of differing lengths and identical widths. The small northern room was formerly divided into two rooms and was not accessed from within the store. Public access to the commercial area was from the traditional entrance at the corner of Gulph and Moruya streets with access to the eastern verandah mostly being restricted to private usage. Documentary and physical research has provided evidence that the original building contained a Store, a Gold Exchange room that was accessed from Moruya Street, and a Post Office room that was accessed from within the retail area. Removal of internal lining within the shop has revealed framing for the door to this room.

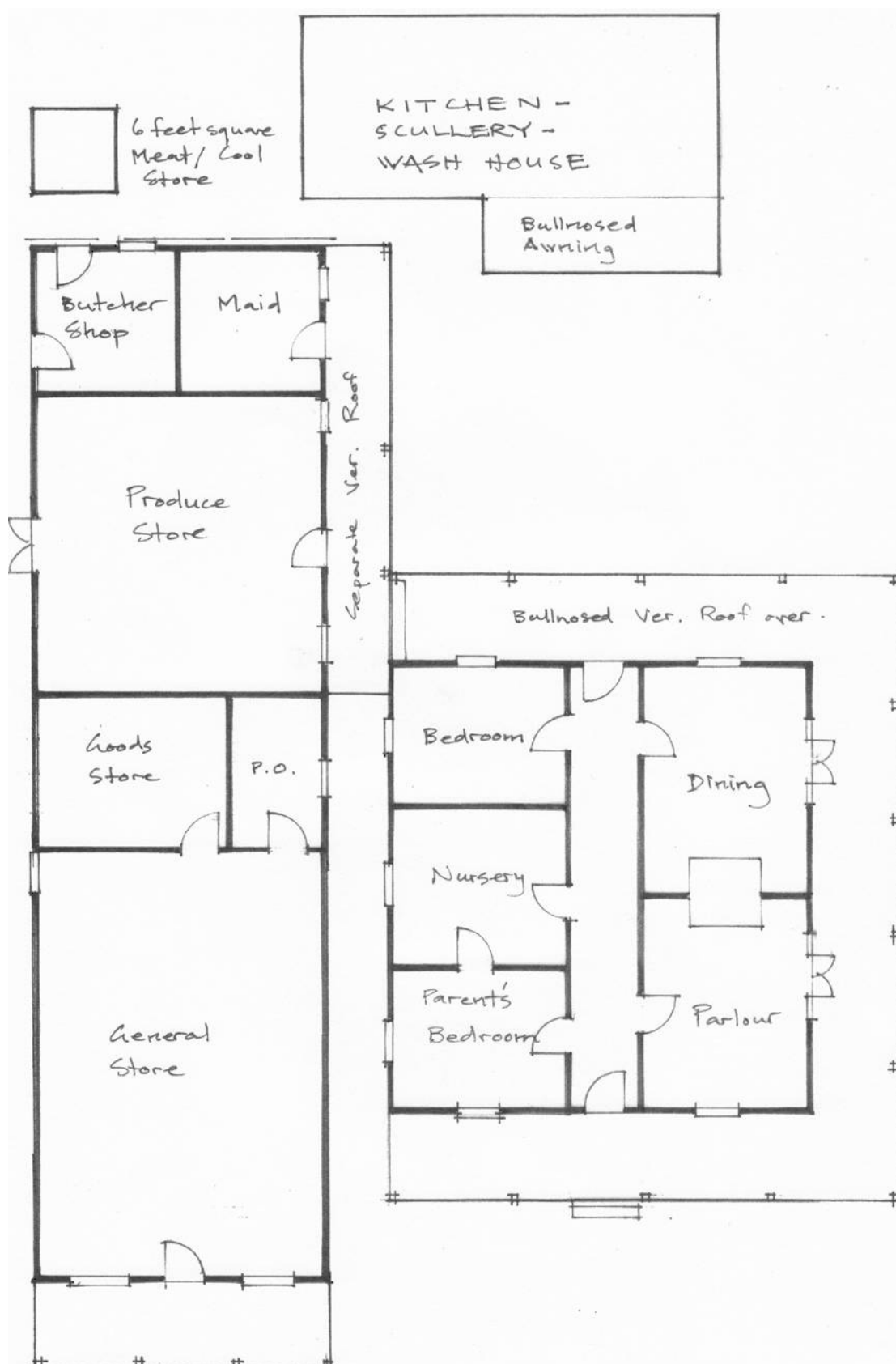
Dual timber doors opening out to Moruya Street are evidence of the building's usage as a place of bulk storage of goods within the separated produce section, itself a part of the later addition. The door framing to the Gold Exchange was covered over with weatherboard lining boards when the

addition occurred. The original plan form of the store is presently understood as having been configured as shown below.

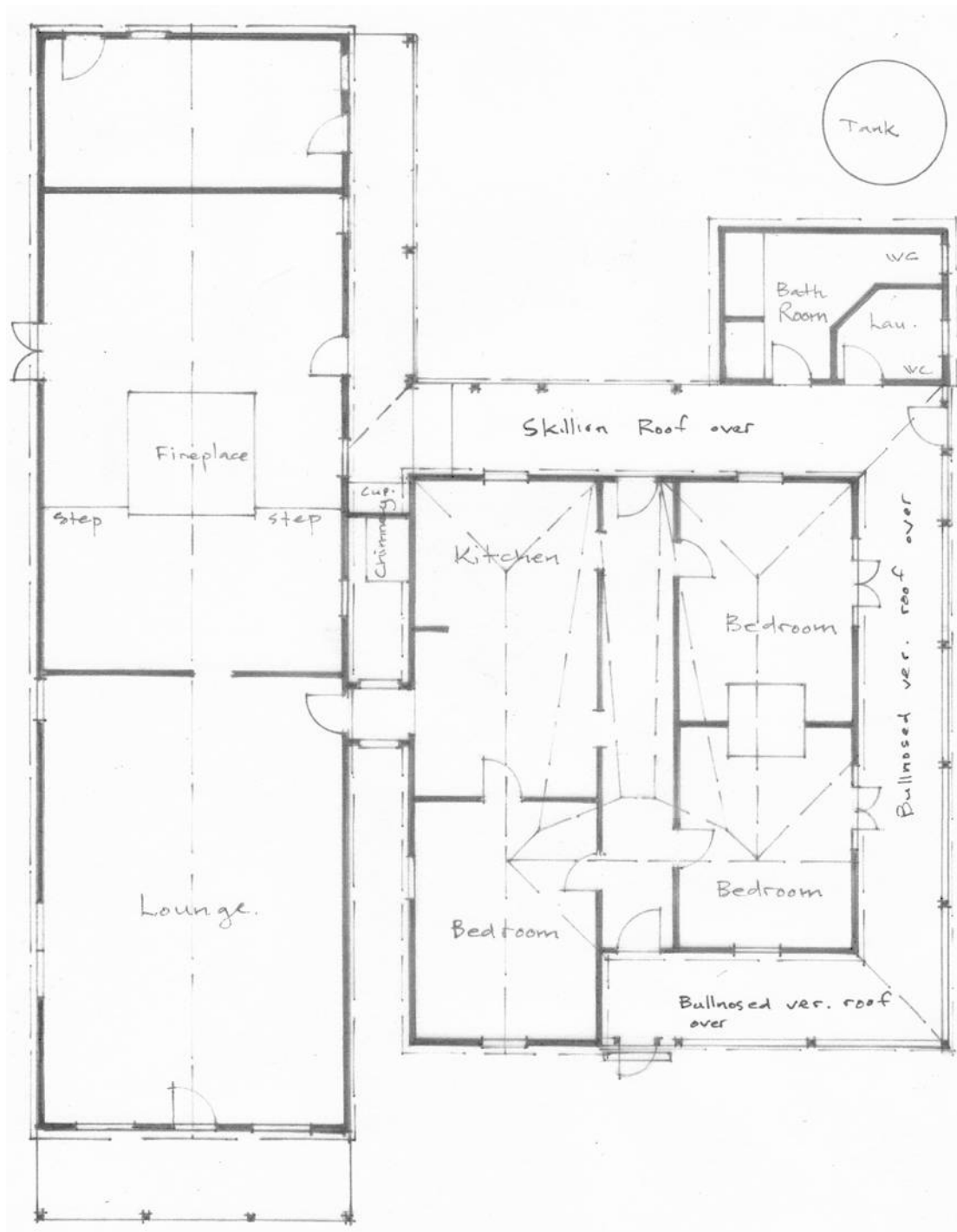


PLAN 1 - INITIAL DEVELOPMENT STAGE - ORIGINAL FLOOR PLAN

It is useful to compare the above plan to the secondary stage and existing plan forms that are shown on the following pages. By this means, an understanding of the changes to the property can be gained. The step within the produce store (Plan 3) marks the position of the original rear wall that was removed at some stage as a result of ongoing adaptations to the fabric of the building. Bearers in both the residence and produce store measure 100 x 100 whilst the bearer size in the General Store is 65 x 100. This provides evidence that the produce store and residence were constructed at the same time. At 95 x 50, the floor joists of the residence are smaller than those of the produce store which measure 130 x 50. This reflects the requirement of the floor structure in the produce store to carry greater live loadings.



PLAN 2 - SECOND STAGE IN THE DEVELOPMENT SEQUENCE



PLAN 3 - EXISTING FLOOR PLAN

A doorway that connects the shop to the residence is a relatively recent adaptation. The roughly built fireplace within the central area of the rear room also appears to be of relatively recent construction. The two buildings currently act as a single residence.

Penetrating damp, rising damp in the fireplace, and termites have combined to cause considerable damage to the structure. This has impacted on the condition of the largely intact, original pressed metal lining and on the internal amenity that the building provides. Damage to the interior lining and evidence of termite infestation of wall battens to which lining is affixed are shown below.





This photo, from the preliminary site visit in May 2010, shows the internal finishes at that time. Both studs and external lining were painted, the room was unlined and it lacked any form of insulation. The internal amenity it provided was therefore limited by this factor. The image also indicates the poor quality of the stonework in the central structure, which also suggests that it was built at a relatively recent time. This structure impedes the free flow of circulation, which is also an argument against it being an original element within the produce store, and it constitutes an unsightly and unsympathetic element in the space. The picket style barn doors are also considered unlikely to be

surviving elements of the original structure, since they provide so little in the way of security or draught proofing.

Condition of building elements	
Nerrigundah Store interior	Condition
SHOP (FORMER RETAIL AREA)	
Windows and doors	In sound condition considering age
Pressed metal lining of double-line pattern to walls and tri-line pattern to ceiling. Simple scotia.	Appear generally sound in spite of the absence of vapour barriers within the walls or roof space. Evidence of some damage due to loss of attachment to wall battens and exposure to moisture. Decorative ceiling elements still in good condition.
Floor	Appears to be in sound condition though wear and tear is evident, particularly at doorway. 5 - 8 % replacement of fabric required
PRODUCE STORE	
Windows and doors	In sound condition considering age
Floor	Appears to be in sound condition though wear and tear is evident, particularly at northern doorway
Electrical installations	Recommended to be tested for safe operation
WEST FACING ROOM (FORMER	Unlined

BUTCHERY AND SERVANT'S QUARTERS)	
Windows and doors	In sound condition considering age
Pressed metal lining of single-line pattern to walls and ceiling. Simple scotia.	Appears generally sound. Evidence of some damage at the base of the walls due to loss of attachment to wall battens and exposure to moisture.
Floor	Poor quality concrete slab, probably lacking any steel reinforcing and soft surface causing dusting.
Electrical installations	Recommended to be tested for safe operation

3.1.1.3 Curtilage

The property related to Pollocks General Store and Residence is composed of four lots which are generally perceived as being a single entity. The mature landscaping to the east and north of the buildings is a very important element of the property as a whole.

However, in comparison to the residence, the store is not as strongly connected to the vegetated grounds of the property. The northern rear section faces a courtyard that then forms a linkage to the gardens beyond, but because of its position at a prominent intersection, much of the curtilage of the store lies within the road reserves to the west and south of the building, with the relationship of the store to the O'Grady monument being the most important contributory element.

There is a strong comparison between the feeling of connection to the wider locale, diminished by the recent construction of a paling fence, that exists outside the property to the secluded ambience afforded by the residence and grounds when experienced from within.

Condition of curtilage elements	
Nerrigundah Store exterior	Condition
Paling fence along Moruya Street	New, unsympathetic element located within the road reserve.
Front picket fence along Gulph Street	Introduced element that was not a part of the historic façade. Fabric in good condition.
Eastern Courtyard	Roughly constructed stone paving, requiring removal.
Northern area adjacent to former Butchery	Poor amenity at ground level, and surface drainage needing work

3.1.2 The Residence

3.1.2.1 Building exterior

The residence was constructed later than the store, and shortly after the holdup of 1866. The listing card nominates 1867 as the end period of the construction timeframe.

As indicated in the plan drawings above, the external form of the original building has undergone some changes, the extension of the front bedroom to occupy the position of the original verandah being the most notable. Other important changes are the changed position (the front bedroom doors were originally centrally aligned with the eastern gable) and inclusion of sidelight panels to the French doors in east facing bedrooms, the removal of bullnosed roof cladding from the rear verandah (where the ledger plate that is common to the rest of the verandah is still intact) and the construction of those elements, including the chimney, cupboard and connecting passageway to the store, that now prohibit free passage between the buildings. The roof structure was altered when the tray of the box gutter that is located above the central passage was re-graded. This is reflected in the unusual configuration of the roof sheets, cut to accommodate this adaptation.

The attached Bathroom and Laundry structure are from a much later construction sequence, as is the rough stone paving to the building's rear, also a recently introduced element to the external fabric.

Unsympathetic additions to the historic appearance of the residence include the poorly built structure that connects the building to the adjacent residence, the rear verandah cladding and the bathroom/laundry structure.

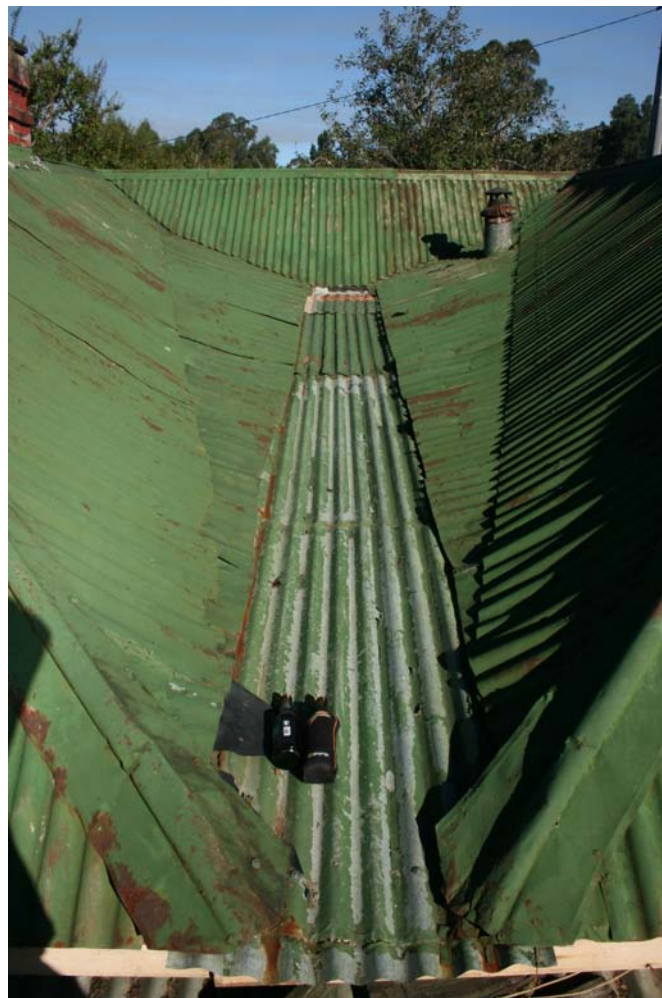
The building is in deteriorated condition due to lack of maintenance, but much of the fabric is intact.

Being mostly constructed higher above the ground than the store, termite infestation and water damage have proved less of a problem but a lack of maintenance of gutters and continuing problems with the centrally located box gutter have been factors that compromised the integrity of the built fabric over time. The weatherboard external wall fabric is generally very sound, especially under the verandahs, and the hardwood floor appears to be in good condition.

Like the store, roof sheet overlaps are deteriorated but the fabric still performs its protective function adequately. Gutters need replacing and re-grading. Some bull-nosed verandah roof sheets are badly damaged and need to be replaced. This is especially the case in the north-east corner adjacent to the bathroom/laundry structure.



Images show deteriorated gutter, timber elements and corrugated valley tray.





Images of bull-nosed verandah as seen from below. In general, the fabric still performs its protective function adequately, but some sheets need to be replaced, with new galvanized iron bull-nosed sheets, especially those along the eastern verandah as shown above right.



Missing decorative gable element to front bedroom.



The deteriorated condition and ad hoc fabric substitution of the residence's piers is shown above and below. Ant caps are generally absent and attention will need to be directed towards the close proximity of the ground below the kitchen and former dining room area, where the verandah boards are almost contacting the ground.



Condition of building elements	
Nerrigundah Store Residence	Condition
Exterior fabric	
Gabled corrugated iron roof and roof structure	Appears generally sound though some roof sheets may need to be repaired or replaced. The tray of the main valley is of corrugated profile, is not watertight and requires replacement.
Guttering and downpipes	In poor condition and requiring replacement.
External wall fabric	Hardwood weatherboards in generally sound condition, requiring re-nailing in places. Condition of painted surfaces is poor in places.
Decorative timber gable	Entire decorative element missing.
Windows and doors	Appear to be in sound condition but re-puttying and painting may be required.
Verandah structures and cladding Front verandah	Overall fabric in sound condition. Base of posts deteriorated and needing to be re-supported. Overall fabric in sound condition though the supporting pier structure has subsided and requires rebuilding.
Piers and drainage	This building is set on piers that have provided sufficient elevation above the ground for the protection of the fabric to be achieved. There is evidence that re-stumping has occurred at various times with a variety of pier types being employed. The building will benefit from an integrated approach to re-leveling the entire structure, rather than the piecemeal approach that has been used to date.
Electrical	Recommended to be tested for safe operation
Framing	Subsidence of support piers has produced some twisting in the frame. This will be rectified when the building is leveled. The extended front bedroom appears to have subsided at some time, and been re-supported by using original verandah posts as bearers beneath the front wall.
Curtilage	Gardens are overgrown, serving to overshadow the built fabric. Fencing is deteriorated.

3.1.2.2 Building interior

This single storey building was originally composed of three modest bedrooms, a centrally located passageway that provided access to the front and rear verandahs and to all rooms, and two larger rooms that provided the more public functions of Parlour and Dining Room. Direct access to the eastern verandah was available from these rooms.



The walls and ceiling of the residence are lined throughout with pressed metal, the sheet patterns and expressed moulding being of finer detail and variety than that which is within the store. The pressed metal lining of the original parlour, dining room and bedrooms is a distinctive feature of the residence and its conservation is important to the future of the building.

The wall lining of the front bedroom displays the vertical tri-line pattern that is typical of the rest of the residence. As mentioned above, the French doors of the east facing bedrooms shown on page 24 did not have sidelights as is currently the case, indicating that these adaptations took place after the initial construction sequence. A subtle difference in the profile of the lining within the

front bedroom shows the close matching with the existing lining that was achieved when the bedroom was extended. Other evidence of the extension can be seen in the break in the flooring within the room and in the junction line of the weatherboards located on the southern external wall.

An interesting hierarchy in decoration exists between the ornate tri-line and interlocking circular motifs of the residence, the plainer double line of the general store, and the simple single-line of the butchery and maid's quarters, all physically reflective of the differences in social station of the building's early occupants.



Residential tri-line pattern



Dual-line pattern in store

Single-line in former butchery



Unsympathetic changes to the internal appearance of the residence are within the kitchen area where most of an original bedroom wall has been removed to enlarge the space, the pressed metal lining having being bent and nailed around the stud at the opening. The recent adaptation of constructing an access passageway through to the store was not built to an adequate standard and this also constitutes an unsympathetic element.



View of the opening that was formed when the rear bedroom was adapted to become a kitchen.

Condition of building elements	
Residence interior	Condition
Pressed metal lining of double-line pattern to walls and tri-line pattern to ceiling. Simple scotia.	Appear generally sound in spite of the absence of vapour barriers within the walls or roof space. Rust damage to the ceiling in the central passageway is the most prominently deteriorated area. Decorative ceiling elements appear to be in good condition.
Windows and doors	In sound condition but re-puttying and painting may be required.
Floor	In sound condition considering age
Electrical installations	Recommended to be tested for safe operation
Fireplaces in Parlour and Dining Room	In sound condition

3.1.3 Outbuildings

The image of the rear of the property shown on page 25 gives some indication of the extent of buildings that formerly existed in proximity to the store and residence. Much of this urban fabric has been removed over the years. However the property still contains a shed, a remnant building that contributes to the charm of the current setting and to an ability to understand the evolving story of the property.



3.1.4 Garden and setting

The garden is composed of a number of mature species that combine to impart a distinctive ambience to the grounds around the residence and to the rear of the store. Some of the plant species that are present have been identified as being heirloom varieties and are good representative examples of their type. This report recommends that further study of this important element of the property be undertaken since detailed strategies for the conservation of the garden are beyond the consultant's expertise, therefore requiring specialist input by others.

3.2 Archaeological potential

The property known as Pollock's General Store and Residence covers five individual lots which contained a number of built structures over the periods of the town's inception and later phases of development. Lot 5, where the former commercial and present residential structures are located, is regarded as an area having high archaeological potential. Elsewhere, the property is regarded as being of moderate to low archaeological potential.

3.3 Management of archaeological features

Where possible all present archaeological features should be retained in situ and future works planned to ensure minimal disturbance to the site. The following general principles should apply to management of archaeological features:

- Where future works may involve the disturbance or destruction of surface or sub-surface deposits or relics, the appropriate excavation permit should be obtained under Section 60 of the NSW Heritage Act 1977 prior to the commencement of those works.
- In those areas with moderate archaeological potential works involving ground disturbance in those areas specified below should be monitored by a qualified archaeologist and resources made available for adequate recording. The monitoring program should apply during the initial stages of construction, including during bulk excavation works and the digging of service, footing and pier trenches.
- In areas not requiring monitoring, the unanticipated discovery of substantial or potentially significant relics should be reported immediately to the designated archaeologist. Note: Section 146 of the Heritage Act 1977 states that the accidental discovery of relics should be reported immediately to the NSW Heritage Office (Heritage Act 1977, section 146).
- The identification of any Aboriginal artefacts, or deposits likely to contain Aboriginal artefacts, during the archaeological investigation or otherwise, will be reported to the Director General of the NSW Department of Conservation and Environment (National Parks & Wildlife Service) and the relevant permits should be obtained under section 91 of the National Parks and Wildlife Service Act 1974.

4. Ability to Demonstrate

Within "The Conservation Plan" (page 8) James Semple Kerr describes the Ability to Demonstrate as being,

concerned with the importance of a place as evidence and with the physical survival of that evidence in the fabric. Such evidence can be of value to social and scientific investigation and to the history of aesthetics. It can hardly avoid being of historic value and surely will be at least as important to future generations in understanding the past as it is to us now.

At a primary level, the nature of the significance of the evidence can be understood by asking the question: does the place and its components provide evidence which demonstrates a philosophy, custom, taste, design, usage, process, technique, material, or association with events or persons.¹²

The above presentation of documentary and physical sources of evidence demonstrates that, whilst much of the fabric of the store and residence remains intact, other evidence of the past appearance and function of the store has been altered or removed. This has implications for the development of conservation policies and management recommendations.

¹² The Conservation Plan: A guide to the preparation of conservation plans for places of European cultural significance, James Semple Kerr, National Trust of NSW 1990 Page 8

5. Assessment of Heritage Significance

5.1 Existing Statement of Cultural Significance

The existing Statement of Significance presents an understanding of the place and components of Pollock's General Store within the contexts of the design of the store (aesthetic significance), its usage and its association with the Pollock family (historic and social significance), and within the process of the growth of the town (historic and scientific significance). The historic, aesthetic and scientific values of the property are understood as being rarely represented throughout the historic region. Its social significance is understood as being rare within the local context.

The statement appears to imply that the store's unusual length was an aspect of its aesthetic presence from the time of its initial construction phase. However investigation of the physical evidence has shown that the store was more likely to have been lengthened at a time concurrent with the construction of the residence.

The state and local historic themes that are stated in the listing appear to be consistent with the documentary and physical evidence provided above.

5.2 Discussion

The current listing is therefore generally supported within this document.

Beyond the additional understanding of the stages of the store's development that has arisen as a result of these investigations, an additional element that is understood here as also being significant includes the locational context of the building and its strong visual connection with the monument to Miles O'Grady. In combination, these two elements provide evidence of a major event in the history of the town, the Clarke Gang's raid and the slaying of Constable O'Grady in 1866, and the store's connection to the events through the actions of Mrs. Pollock.

6. Conservation and management

6.1 General statement of Conservation Approach

Pollock's General Store and Associated Residence is currently occupied and although the commercial area does not currently operate as a store for the purchase of goods its traditional function as a residence is still being utilised.

It is recommended that the commercial area of the building be further adapted to serve the function of Tea Rooms so that an income stream in support of the high costs associated with the necessary conservation works to the property be covered. In the interim, the property should be maintained to ensure its ongoing viability as a residence.

It is important that the features which contribute to an understanding of the function of the shop, residence and grounds of Pollock's General Store and Residence are maintained within a living community.

The retention of the buildings' historic fabric is important to the future management of the property. The following controls should be placed on physical intervention into the fabric of the site:

1. Identified elements of the building should be conserved in such a way that their importance to the understanding of the processes leading to the creation of the place and its overall importance in the social history of the region is maintained.
2. Any changes to the site, including restoration, reconstruction or adaptation, are to be fully documented in accordance with the requirements of the Burra Charter and NSW Heritage Office guidelines for archival recording. Such changes should only be undertaken to ensure the structural stability, integrity and ongoing functionality of the property.

The main guiding principle relating to the management of Pollock's General Store and Residence should be based on the Burra Charter exhortation to do as much as is necessary, and as little as possible.

6.1.1 Recommendations regarding the management of curtilage

The curtilage of Pollock's General Store and Residence is defined by the following features:

- Its style and presentation, particularly the weatherboard cladding of the buildings and their corrugated iron roofs,
- The style and presentation of the garden setting,
- The close proximity of the monument to Miles O'Grady.

These features should be managed as follows:

Historical allotments

An on-site car-parking amenity that can only be located successfully within Lot 6 and the location of trenches for the disposal of effluent are factors that may lead Council to require the amalgamation of some allotments. This will have little impact on existing perceptions that the property is a single entity.

The recently constructed fence along Moruya Street should be removed. It is constructed within the road reserve and its presence diminishes the ability of the public to view the historic western façade of the store. However, some protection for the building from cars and logging trucks, and protection for the required drainage excavations, will be vital to ensure the conservation of the built fabric. A post and rail fence that inhibits the ability of vehicles to gain close proximity to the building can respond effectively to these dangers, but it needs to be safely located within the road reserve and it would still have some visual impact on the ability of the public to view the historic façade in question.

Elsewhere, a more flexible approach to fencing should be employed and a sense of the informality of the setting be retained.

Design, style and taste

The Victorian Filigree style is a prominent feature of the site. The presentation, style and materials of the buildings should be preserved.

Functional uses and relationships

The relationships of the buildings to each other and to the rest of the Village of Nerrigundah should be retained.

Visual links

The visual link between the property and the monument to Miles O'Grady should be retained.

Scale

Future management of the property should ensure that the current scale of the buildings is maintained.

Vegetation

Existing plantings should be retained.

Archaeological features

All archaeological features should be retained.

6.2 Owner's requirements

The owner, Ms. Maree Burdett, wishes to conserve the historic fabric of the buildings and to retain the significance of the property while adapting it to accord with contemporary expectations of comfort and amenity. She also seeks to be able to generate enough income, through the adaptation of the store and produce area into Tearooms, to ensure the ongoing conservation of the property.

6.3 Items/fabric that must be conserved

Items and fabric that must be conserved include:

- The structure, form and style of Pollock's General Store and Residence including the Victorian Filigree styled elements of the building. These include the corrugated iron clad gable roof and weatherboard cladding, timber elements, brick chimney elements, decorative and plain barge boards, finials, vertically orientated windows, and the profile of roof guttering and downpipes. Any introduced structural timber fabric elements should be of hardwood only.

* The structure, form and style of the internal fabric including the pressed metal linings and marble fireplace surrounds.

6.4 Items/fabric that can be altered

The following items and fabric of Pollock's General Store and Residence can be altered:

- The connecting walkway between the two buildings,
- Internal wall linings may be introduced into the formerly unlined produce store,
- Kitchen fittings,
- Services, including plumbing & electricity,
- Water tanks
- * The existing rear verandah can be reconstructed
- * Poor quality concrete within the butchery/maid's room and at the verandah entry to the store may be demolished and replaced with new concrete fabric
- * The entire bathroom/laundry complex that is located at the north-east corner of the residence may be demolished and replaced with a more sympathetic alternative that also provides a facility that better satisfies the Health and Amenity requirements of the BCA
- * Unsympathetic landscaping elements including rough stone paving may be removed
- * The fireplace base within the produce store may be removed

7. Conservation policies

The NSW Heritage Council has published a series of guidelines for management of heritage places. These are covered in a series of standard exemptions from the requirements of the NSW Heritage Act 1977. The purpose of the standard exemptions is to clarify for owners, the Heritage Office and local councils what kind of maintenance and minor works can be undertaken without needing Heritage Council approval. This ensures that owners are not required to make unnecessary applications for minor maintenance and repair. More detailed information is available in the NSW Heritage Office Heritage Information Series – Standard Exemptions for Works Requiring Heritage Council Approval. These have been modified into conservation policies that are considered to be applicable to Pollock's General Store and Residence.

1. STANDARD EXEMPTION 1: MAINTENANCE AND CLEANING

1. The following maintenance and cleaning does not require approval under s. 57(1) of the Act:

- (a) the maintenance of an item to retain its condition or operation without the removal of or damage to the existing fabric or the introduction of new materials;
- (b) cleaning including the removal of surface deposits, organic growths or graffiti by the use of low pressure water (less than 100 psi at the surface being cleaned) and neutral detergents and mild brushing and scrubbing.

Refer to Page 5 for a definition of maintenance.

NOTE 1: Traditional finishes such as oils and waxes must continue to be used for timber surfaces rather than modern alternative protective coatings such as polyurethane or acrylic which may seal the surface and can cause damage.

NOTE 2: Surface patina which has developed on the fabric may be an important part of the item's significance and if so needs to be preserved during maintenance and cleaning.

Guidelines

Maintenance is distinguished from repairs, restoration and reconstruction as it does not involve the removal of or damage to existing fabric or the introduction of new materials. It is a continuing process of protective care.

Typical maintenance activity includes:

- the removal of vegetation and litter from gutters and drainage systems;
- re-securing and tightening fixings of loose elements of building fabric;
- lubricating equipment and services which have moving parts;
- the application of protective coatings such as limewash, polish, oils and waxes to surfaces which have previously had such coatings applied;
- and
- cleaning by the removal of surface deposits using methods other than

aggressive mechanical or chemical techniques such as high pressure, high temperature or strong solvents which may affect the substrate.

2. STANDARD EXEMPTION 2: REPAIRS

1. Repair to an item which is of the type described in (a) or (b) below does not require approval under s. 57(1) of the Act:

(a) the replacement of services such as cabling, plumbing, wiring and fire services that uses existing service routes, cavities or voids or replaces existing surface mounted services and does not involve damage to or the removal of significant fabric;

(b) the repair (such as re-fixing and patching) or the replacement of missing, damaged or deteriorated fabric that is beyond further maintenance, which matches the existing fabric in appearance, material and method of affixing and does not involve damage to or the removal of significant fabric.

NOTE 1: Repairs must be based on the principle of doing as little as possible and only as much as is necessary to retain and protect the element. Therefore replacement must only occur as a last resort where the major part of an element has decayed beyond further maintenance.

NOTE 2: Any new materials used for repair must not exacerbate the decay of existing fabric due to chemical incompatibility, obscure existing fabric or limit access to existing fabric for future maintenance.

NOTE 3: Repair must maximise protection and retention of fabric and include the conservation of existing detailing, such as vents, capping, chimneys, carving, decoration or glazing.

Guidelines

This standard exemption is not intended to allow the cumulative replacement of large amounts or a high proportion of the fabric of an item. If replacement of large amounts of fabric is necessary, an application will be required to be submitted under s. 60 of the Heritage Act. If there is uncertainty about whether the proposed extent of repair is exempt from approval, advice should be sought from the NSW Heritage Office.

Repairs should have detailed specifications and be carried out by licensed tradespeople with experience in the conservation of heritage buildings. It is essential that the composition of elements of the fabric such renders, mortars, timber species and metal types remain the same to assist with matching appearance and avoiding chemical incompatibility.

Repair may involve reconstruction which means returning an item to a known earlier state. This may involve the use of new or recycled materials.

Reconstruction must satisfy a four-part test to qualify for exemption from approval:

1. The nature of the earlier state being reconstructed must be known. Where there is conjecture about the earlier state of the fabric or where it is proposed to change the appearance, material or method of fixing of the fabric an application under s.60 of the Heritage Act will be required.
2. The replacement fabric must be matching in appearance and method of fixing. The use of salvaged or recycled fabric can be a valuable resource in matching appearance in preference to the use of new fabric which may appear obtrusive. However the damage to other heritage buildings by the salvaging of fabric for reuse is unacceptable. Salvaged materials must be judiciously sourced so as not to encourage secondary damage to other heritage resources. The use of artificial ageing techniques to assist the matching of new with original fabric is only advocated where there is an obtrusive mismatch of materials which negatively impacts on the heritage significance of the item. Ideally, new and original fabric should be subtly discernable on close examination to assist interpretation of the history of change to the building.
3. The fabric being replaced must be beyond further maintenance. The replacement of fabric may only occur where fabric is missing or it is so damaged or deteriorated that it is beyond further maintenance. In many cases the judgement about the level of deterioration and the effectiveness of further maintenance will require the advice of a person who is suitably experienced in similar heritage conservation projects. If it is unclear that the fabric is beyond further maintenance, its replacement will require the submission of an application under s. 60 of the Heritage Act.
4. Significant fabric must not be damaged or removed. In all cases of repair, the damage or removal of significant fabric is not permitted without approval. Significant fabric is that which contributes to the heritage significance of the item. The identification of the level of significance of fabric will usually require the advice of a person who is suitably experienced in similar heritage conservation projects. The damage or removal of significant fabric will require the submission of an application under s. 60 of the Heritage Act. New material used in repairs should where possible be date stamped in a location which is not conspicuous but is legible on close examination.

Archival recording of removed and replacement fabric is advocated and should be used in interpretative displays where practicable.

3. STANDARD EXEMPTION 3: PAINTING

1. Painting does not require approval under s. 57(1) of the Act if the painting:
 - (a) does not involve the disturbance or removal of earlier paint layers other than that which has failed by chalking, flaking, peeling or blistering;
 - (b) involves over-coating with an appropriate surface as an isolating layer to provide a means of protection for significant earlier layers or to provide a stable basis for repainting; and
 - (c) employs the same colour scheme and paint type as an earlier scheme if they are appropriate to the substrate and do not endanger the survival of earlier paint layers.

2. Painting which employs a different colour scheme and paint type from an earlier scheme does not require approval under s. 57(1) of the Act, provided that:

- (a) the Director-General is satisfied that the proposed colour scheme, paint type, details of surface preparation and paint removal will not adversely affect the heritage significance of the item; and
- (b) the person proposing to undertake the painting has received a notice advising that the Director-General is satisfied.

3. A person proposing to undertake repainting of the kind described in paragraph 2 must write to the Director-General and describe the proposed colour scheme, paint type, details of surface preparation and paint removal involved in the repainting. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 2(a) the Director-General shall notify the applicant.

NOTE: Preference should be given to the re-establishment of historically significant paint schemes of the item that are appropriate to the significance of the building.

Guidelines

Painting of surfaces which have not previously been painted such as face brickwork, stone, concrete or galvanised iron is likely to adversely affect the heritage significance of the item and is not exempt from approval under this standard exemption. Likewise, the stripping of paint coatings which were intended to be protective may expose the substrate to damage and cause the loss of the historical record and significance of the building. In cases where surface preparation has revealed significant historic paint layers, repainting should facilitate the interpretation of the evolution of the building by displaying appropriately located sample patches of historic paint schemes. This information should also be examined if it is proposed to recreate earlier finishes or paint schemes.

Paint removal of failed layers to achieve a stable base for repainting is exempt from approval but intervention should be minimised to avoid the loss of the significant historical record. Where old paint layers are sound they should be left undisturbed. The removal of paint with a high content of lead or other hazardous materials requires considerable care and use of experienced tradespeople as its disturbance can create health hazards. If the removal of such paint layers will adversely affect the heritage significance of the item, an application will be required under section 60 of the Heritage Act.

Reference should be made to The Maintenance Series, NSW Heritage Office, particularly Information Sheets 6.2 Removing Paint from Old Buildings, 7.2 Paint Finishes and 7.3 Basic Limewash. Available online at www.heritage.nsw.gov.au.

4. STANDARD EXEMPTION 4: EXCAVATION

1. Excavation or disturbance of land of the kind specified below does not require approval under s. 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a), (b) or (c) have been met and the person proposing to undertake the excavation or disturbance of land has received a notice advising that the Director-General is satisfied:

(a) where an archaeological assessment has been prepared in accordance with Guidelines published by the Heritage Council of NSW which indicates that any relics in the land are unlikely to have State or local heritage significance; or

(b) where the excavation or disturbance of land will have a minor impact on archaeological relics; or

(c) where the excavation or disturbance of land involves only the removal of unstratified fill which has been deposited on the land.

2. A person proposing to excavate or disturb land in the manner described in paragraph 1 must write to the Director-General and describe the proposed excavation or disturbance of land and set out why it satisfies the criteria set out in paragraph 1. If the Director-

General is satisfied that the proposed development meets the criteria set out in paragraph (a), (b) or (c) the Director-General shall notify the applicant.

NOTE 1: Any excavation with the potential to affect Aboriginal objects must be referred to the Director-General of the Department of Environment and Conservation.

NOTE 2: If any Aboriginal objects are discovered on the site, excavation or disturbance is to cease and the Department of Environment and Conservation is to be informed in accordance with s. 91 of the National Parks and Wildlife Act, 1974.

NOTE 3: This exemption does not allow the removal of State significant relics.

NOTE 4: Where substantial intact archaeological relics of State or local significance, not identified in the archaeological assessment or statement required by this exemption, are unexpectedly discovered during excavation, work must cease in the affected area and the Heritage Office must be notified in writing in accordance with s. 146 of the Act. Depending on the nature of the discovery, additional assessment and possibly an excavation permit may be required prior to the recommencement of excavation in the affected area.

Guidelines

Excavation or disturbance to which clause 1(c) applies only involves the removal of unstratified fill material of minor heritage significance. Such fill will have been deposited in a single episode.

5. RESTORATION

It is considered that the management of the property should focus on conservation of the existing fabric. With the exception of the removal of unsympathetic windows and the masonry fireplace base structure within the

produce store there appears to be limited opportunity to undertake restoration as defined by the Burra Charter and presented on page 5 above.

6. MINOR ACTIVITIES WITH NO ADVERSE IMPACT ON HERITAGE SIGNIFICANCE

In accordance with the requirements of Standard Exemption 7 it is recommended that the following activities be defined as minor activities with no adverse impact on heritage significance:

- Removal of any asbestos sheeting, providing appropriate asbestos handling and disposal procedures are applied
- Repair, replacement or upgrading of services, providing this is undertaken in accordance with the requirements of Standard Exemptions 1, 2 and 3
- Repair or replacement of rotted or broken timber components of the building
- Replacement of slumped or broken paths around the building to ensure good drainage around the building
- Replacement of gutters
- Replacement of roof cladding where required
- Extensions of timber decks and new decks or terraces adjacent to the building

7. NEW BUILDINGS

New buildings should be located so that they do not obscure views of the heritage item or compromise its relationship with the existing setting and curtilage.

8. TEMPORARY STRUCTURES

Temporary structures may be erected within the buildings' curtilage provided that the following criteria are met:

1. The structure will be erected within and used for a period not exceeding 6 months after which it will be removed.
2. The structure is not to be located where it could damage or endanger significant fabric including landscape or archaeological features of its curtilage or obstruct significant views of or from the heritage item.

9. SAFETY AND SECURITY

The following development does not require special approval under the NSW Heritage Act:

- a) The erection of temporary security fencing, scaffolding, hoardings or surveillance systems to prevent unauthorised access or secure public safety

which will not adversely affect significant fabric or the item including landscape or archaeological features of its curtilage; or

b) Development, including emergency stabilisation, necessary to secure safety where the building or a part of the building has been irreparably damaged or destabilised and poses a risk to its users. Development of this kind must be of a temporary nature.

10. MOVABLE HERITAGE ITEMS

The temporary relocation of movable heritage items, including contents, fixtures and objects, to ensure their security, maintenance and preservation, for conservation or exhibition, to ensure health or safety, the need for a controlled environment for those heritage items, or to protect the place, and which are to be returned to their present location within six months, does not require approval under s. 57(1) of the Act.

11. MANAGEMENT OF ARCHAEOLOGICAL FEATURES

Where possible all present archaeological features should be retained in situ and future works planned to ensure minimal disturbance of the site.

The following general features should apply to management of archaeological features:

- Where future works may involve the disturbance or destruction of surface or sub-surface deposits or relics, the appropriate excavation permit should be obtained under Section 60 of the NSW Heritage Act 1977 prior to the commencement of these works.
- In those areas with moderate archaeological potential, works involving ground disturbance in those areas specified below should be monitored by a qualified archaeologist and resources made available for adequate recording. The monitoring program should apply during the initial stages of construction including during bulk excavation works and the digging of service, footing and pier trenches.
- In areas not requiring monitoring, the unanticipated discovery of substantial or potentially significant relics should be reported immediately to the designated archaeologist. Note: Section 146 of the Heritage Act 1977 states that the accidental discovery of relics should be reported immediately to the NSW Heritage Branch.
- Identification of any Aboriginal artefacts, or deposits likely to contain Aboriginal artefacts, during the archaeological excavation or otherwise, will be reported to the Director general of the NSW Department of Conservation and Environment (National Parks and Wildlife Service) and the relevant permits should be obtained under Section 91 of the National Parks and Wildlife Act 1974.

12. BASIC GUIDELINES FOR THE USE OF NEW MATERIALS

The Burra Charter encourages minimal intervention into the fabric of historic sites and structures. However there are occasions when new material must be introduced to replace damaged fabric or missing components that are integral to the long-term stability, protection or useability of the building. In these situations decision-making regarding the composition and style of new materials should be based on an understanding of the long-term implications of the introduction of these materials.

This section seeks to provide some basic information and references to assist the owner and builders with decisions regarding the introduction of new materials into the structures of the property.

More detailed information can be obtained from the following sources:

- NSW Heritage Branch Website
www.heritage.nsw.gov.au
- NSW Heritage Branch publication, *The Maintenance of Heritage Assets*. This publication is also available online.

Recommendation:

It is recommended that a copy of *The Maintenance of Heritage Assets* be procured, or relevant sections downloaded from the above website, as a reference source for the owner and the builders involved with changes to this property.

Replacement of Roofing:

The integrity of roofing plays a major role in protecting and preserving historic buildings. The roof at Nerrigundah Store and Residence is clad in corrugated galvanised iron. Decisions regarding the management and/or replacement of this fabric must be based on the fitness of its current condition and an understanding of the chemical properties of various roofing materials currently on the market.

In this respect the current condition of the roof fabric is good enough to enable its retention. At some future time the metal roof will inevitably cease to have the necessary degree of structural integrity sufficient to protect and preserve the building. In relation to the choice of a suitable replacement fabric, the following general points will be useful to consider:

Roofing products that could be regarded as suitable for use are:

- Mild steel, hot-dip galvanised and corrugated to 3" profile
- Mild steel, coated with Zinalume, and corrugated to a 3" profile
Zinalume is preferred by builders as it is readily available and generally less expensive than traditional galvanised iron.

However the following characteristics make it an unsuitable choice for use at the store:

- Zincalume has a different surface texture to traditional galvanising. It also takes much longer to weather and 'soften' in appearance
- The presence of aluminium in the surface coating makes it difficult for joints to be soldered
- The risk of electromechanical corrosion caused by the use of dissimilar metals means that Zincalume cannot be used with lead flashings. Lead flashings are present and are still in very servicable condition.

Modern production methods allow the purchase of sheet lengths that are much longer than those that were available at the time of the buildings' construction. This means that roofs can be covered in a single row of sheets, eliminating horizontal overlaps that are a major source of corrosion. However the use of single long sheet lengths could, in some applications, diminish the appearance of the heritage item. With its steeply sloping main roofs being clad in short sheets, the joins can be seen as a shadow line and, less obviously, the additional fixings needed to secure the join are also seen. These combine to provide a distinct horizontal element to the appearance of the roof and their loss will lead to an undesirable change to the character of the roof. Single sheet length may be used on roof planes that are not visible from ground level.

Recommendation:

Zincalume must not be used to re-clad the building. Instead, traditional galvanised iron of maximal Base Metal Thickness (BMT) that is available should be used. Short sheet lengths equal to the existing length should be used where roof planes are visible. Otherwise single sheet lengths may be used. Refer to The Maintenance of Heritage Assets Information Sheet 4.1 Corrugated Roofing.

8. Assessment of the proposal in terms of the Conservation Policy

Achieving the correct balance between the real need to adapt the building and the admonition of the Burra Charter, to 'Do as much as is necessary, and as little as possible', will present the greatest challenge for all those associated with making decisions about Pollock's General Store and Residence.

There is no doubt that the commercial area of the building that the proposal seeks to adapt is in need of conservation and the wish of the owner to enhance the amenity that the building provides is both understandable and justified.

The main issue that requires examination within this section of the document is the quality of decisions that have, and are, being taken to effect the necessary changes. The background information and conservation policies presented above provide the context within which the qualitative aspects of the proposal are assessed.

8.1 CURRENT CHANGES TO THE FABRIC

Conservation works to the property had been begun prior to, and have been ongoing during, the course of this consultancy. These minor works have essentially comprised the excavation of the sub-floor area below the store in order to exclude termites and moisture penetration to the framing timbers, and the replacement, with suitable hardwood, of timber elements that had suffered irreparable damage. The use of galvanized, adjustable metal piers that are set on concrete footings has provided the structure with stability for the long-term.

8.2 EXISTING VEGETATION AND THE REPLACEMENT OF GUTTERS

Existing garden elements are to be retained where possible, though some thinning of the foliage density to the building's north is desirable. Replacement of gutters throughout the entire building is consistent with the policy directives and it is to be hoped that they will be regularly cleaned as a part of a maintenance regime into the future. Replacement components of downpipes and general spouting elements shall be of galvanised steel to match the roof above.

8.3 RETENTION OF THE ROOF CLADDING

The plans indicate that the roof is to be retained and appropriate conservation works be undertaken. This aspect of the proposal needs to be examined against the existing capacity of the roofing fabric to adequately shed water, to provide protection against sun and wind, and policies that are aimed at the ongoing conservation of the roof fabric.

Immediate actions that will benefit the performance of the roof areas are:

1. to clean the roof space of dust, unnecessary debris, and excrement;
2. to provide a vapour barrier below the roof surface and new ceiling insulation;
3. to examine the potential for spark ingress beneath the eaves and create appropriate spark mitigation solutions;
4. to remove, clean and repair damaged roof sheets;
5. to replace only those roof sheets that are structurally unsound; and,
6. to undertake a regular maintenance schedule

8.4 Interpretation

Interpretation is defined within the Burra Charter as:

Interpretation means all the ways of presenting the cultural significance of a place.

Article 25 of the charter provides further detail,

The cultural significance of many places is not readily apparent, and should be explained by interpretation. Interpretation should enhance understanding and enjoyment, and be culturally appropriate.

The proposal takes account of the owner's intention to present interpretive material, including oral information, photographs and artifacts, that she has collected over time. This will be displayed within the Tearooms, enabling visitors to gain an understanding of the cultural significance of Pollock's General Store and the history of the town.

9. Management Recommendations

1. The Conservation Policy shall continue to be accepted as the primary basis for the proposed works and for future planning
2. Identified elements of the building shall be conserved in such a way that their importance to the understanding of the processes leading to the creation of the place and its overall importance in the social history of the region is maintained.
3. Any changes to the site are to be fully documented in accordance with the requirements of the Burra Charter and the NSW Heritage Branch guidelines for archival recording.
4. The general conservation strategy of 'Do as much as is necessary, and as little as possible' shall be followed in relation to the item to ensure that over-restoration does not occur.
5. Repair rather than replace. Keep as much of the historic fabric as possible.
6. Make a visual distinction between the old and the new. On close inspection, it should be clear what is old and what is new. Techniques for achieving this subtle difference include:
 - slight recession of the new material
 - new fabric to be of different material
 - new material to have a different texture
 - surface treatment of new material
 - outlining of new material
 - dating new material
7. Avoid precise imitation of Architectural Detail.
8. Ensure alterations are sympathetic. New work shall be compatible with the character of the earlier stages of the building and its existing context, taking into account materials, plan configuration, surface patterns, textures and colours.
9. Respect the aging process. The effects of time upon surfaces should be seen as a valuable contributing element to the character of the building.
10. Traditional techniques and materials are preferred for the conservation of significant fabric.
11. Contents, objects and fixtures should, where possible, be retained in place.

10. Bibliography

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11. THEMATIC HISTORY OF EUROBODALLA SHIRE, J.W. Turner, Hunter History Consultants 1996

11. Appendices

11.1 Heritage Inventory Listing Card

	About Us	Listings	Development
	Heritage Council	Publications & Forms	Conservation & Technical
	About Heritage	Research	Funding

Nerrigundah (Pollock's) General Store

Item

Name of Item: Nerrigundah (Pollock's) General Store

Other Name/s: J Pollock's Post Office Stores

Type of Item: Built

Group/Collection: Retail and Wholesale

Category: Shop

Primary Address: 6-8 Gulph Street, Nerrigundah, NSW 2545

Local Govt. Area: Eurobodalla

Property Description:

Lot/Volume Code	Lot/Volume Number	Section Number	Plan/Folio Code	Plan/Folio Number
LOT	5	3	DP	758765

All Addresses

Street Address	Suburb/Town	LGA	Parish	County	Type
6-8 Gulph Street	Nerrigundah	Eurobodalla			Primary

Statement of Significance	<p>The former store has regional historic significance for its role in providing a continuous commercial and community function in Nerrigundah for over a hundred years and for its ability to provide evidence of the early development and layout of this mining town prior to the laying out of the township by the Government and immediately following the Gulph</p>
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Creek gold rush. Aesthetically the scale of this building for a late middle 19th century South Coast building is quite rare. As it has survived intact for 130 years, it has regional aesthetic significance. It has high level local social significance to descendants of the Pollock family, in whose hands it remained for so long, and for the local townspeople of Nerrigundah, for being one of the earliest indicators of economic activity. Scientifically it is of regional significance for its potential to contribute to an understanding of the distinctive scale and pattern of early local Nerrigundah commercial development from the mid-19th century to the present day.

Note: There are incomplete details for a number of items listed in NSW. The Heritage Branch intends to develop or upgrade statements of significance and other information for these items as resources become available.

Description

Designer/Maker:	Unknown
Builder/Maker:	James Pollock
Construction Years:	1861 - 1867
Physical Description:	Victorian Filigree. Weatherboard cladding, corrugated iron roofing. Decorative timber gable ends and finials. Brick chimney.
Further Information:	Recent connection of two Various alterations to interior. buildings.

History

Historical Notes:	Before gold was discovered on the Gulph Creek in 1861 Thomas Mort ran cattle there. A rush began to the isolated, mountainous area and by March 1861 there were three stores, a boarding house, a hotel and a carpenters shop on the site of Nerrigundah. The area yielded considerable quantities of alluvial gold to a large population of miners including many Chinese. The rush soon passed but the Government laid out a town site there in 1868 and Nerrigundah continued as a small community based on mining and the timber industry. This item was built between 1861 and 1867 by James Pollock as a general store which also served
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as the Post Office. A residence was also built around the same era, next door. It has since been attached to the store. James Pollock was married in Glasgow, Scotland in 1848 to Margaret Boyle and arrived at Nerrigundah c1861 with three children. A fourth child was born June 1862 at Nerrigundah, followed at regular intervals by a further three children. Mrs Pollock is known as a local hero for having snatched the key to the safe containing gold from the hand of a Clarke Gang bushranger in 1866 and for having thrown it into the street when they raided the town. A current account states the bushranger "after abusing Mrs Pollock with words" looked for the key but the search was interrupted by the arrival of the sick Constable O'Grady, who was fatally shot in the ensuing fight. The Pollock family remained at the store for the next 88 years, leaving the district in 1949. The store is of weatherboard structure, has had various changes made to its interior since it was the Post Office/Store. Then, a heavy wooden counter ran the length and breadth of the building with shelves behind, on the walls for storage of goods for sale. The building has served as a Museum, cafe and tearooms since that time.

Assessment of Significance

SHR Criteria a) REGIONAL EUROBOODALLA SHIRE COUNCIL
[Historical Significance]

Assessment Criteria

Items are assessed against the ☐ [State Heritage Register \(SHR\) Criteria](#) to determine the level of significance. Refer to the Listings below for the level of statutory protection.

Listings

Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
<i>Local Environmental Plan</i>			26 Nov 04		

<i>Heritage study</i>		NERR/R010	01 Jan 97		
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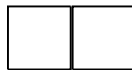
Study Details

Title	Year	Number	Author	Inspected by	Guidelines Used
Eurobodalla Heritage Study	1997	NERR/R010	The EJE Group	EJE	No

References, Internet links & Images

Type	Author	Year	Title	Internet Links
Written	Maureen Burdett		"Nerrigundah - An Anecdotal History"	

Note: Internet links may be to web pages, documents or images.



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